

ZONING CODE FOR THE CITY OF PHILADELPHIA RM-1 DISTRICT SUMMARY FOR PROPERTY 636 NORTH 39TH STREET		
APPLICABLE REGULATIONS	PERMITTED / REQUIRED	PROPOSED
PERMITTED USE BY RIGHT	RESIDENTIAL, SINGLEMULTI	MULTI-FAMILY
LOT WIDTH	16'-0"	18'-0"
LOT AREA	1440	1170 SQ. FT. = 100% Total Lot Area
OPEN AREA	NOT LESS THAN 20%	234 SQ. FT. = 20.0% Open
OCCUPIED AREA	BUILDING MAY OCCUPY NO MORE THAN 80%	936 SQ. FT. = 80.0% Covered
FRONT YARD SETBACK	N/A	N/A
REAR YARD SETBACK	9'-0"	13'-0"
REAR YARD AREA	144 SQ. FT.	234 SQ. FT.
HEIGHT REGULATIONS	38'-0" MAX.	38'-0" MAX. HEIGHT BONUS 7'-0", USED 0'-0"
UNITS		3 UNITS 1 UNIT (LOW INCOME CREDIT) 4 UNITS TOTAL 1 UNIT X 30,000 = \$30,000



THE UNDERGROUND UTILITY LINE PROTECTION LAW
(ACT 287 OF 1974 AS AMENDED BY ACT 187 OF 1998
AND ACT 199 IN JANUARY 2005)

SITE SERIAL NO. 20203492255

LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT 287 OF 1974, AS AMENDED BY ACT 187 OF 1998 AND ACT 199 IN JANUARY 2005, CONTRACTORS MUST VERIFY LOCATIONS OF UNDERGROUND UTILITIES BY NOTIFYING FACILITY OWNERS THROUGH THE ONE-CALL SYSTEM, MORE THAN 10 DAYS PRIOR TO EXCAVATION OR DEMOLITION WORK.

Philadelphia City
Planning Commission
#Date **Mixed Income Bonus**
09/14/2020
Keith F Davis
Development Planning

Per 14-701(1)(d)(i), the City Planning Commission
has determined that:

_____ is the primary street;

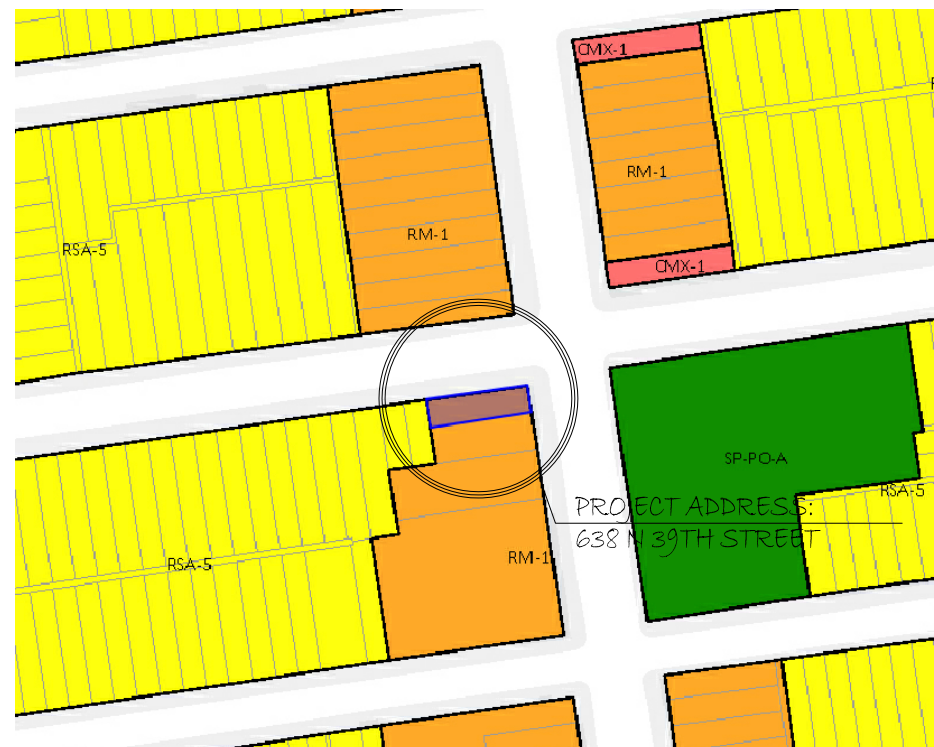
Opposite of N 39th _____ Street is the rear;

_____ Street is the rear street

Applied Electronically by: KEITH DAVIS

September 14, 2020

PHILADELPHIA CITY PLANNING COMMISSION



ZONING MAP - RM-1 ZONING



PHOTO 1

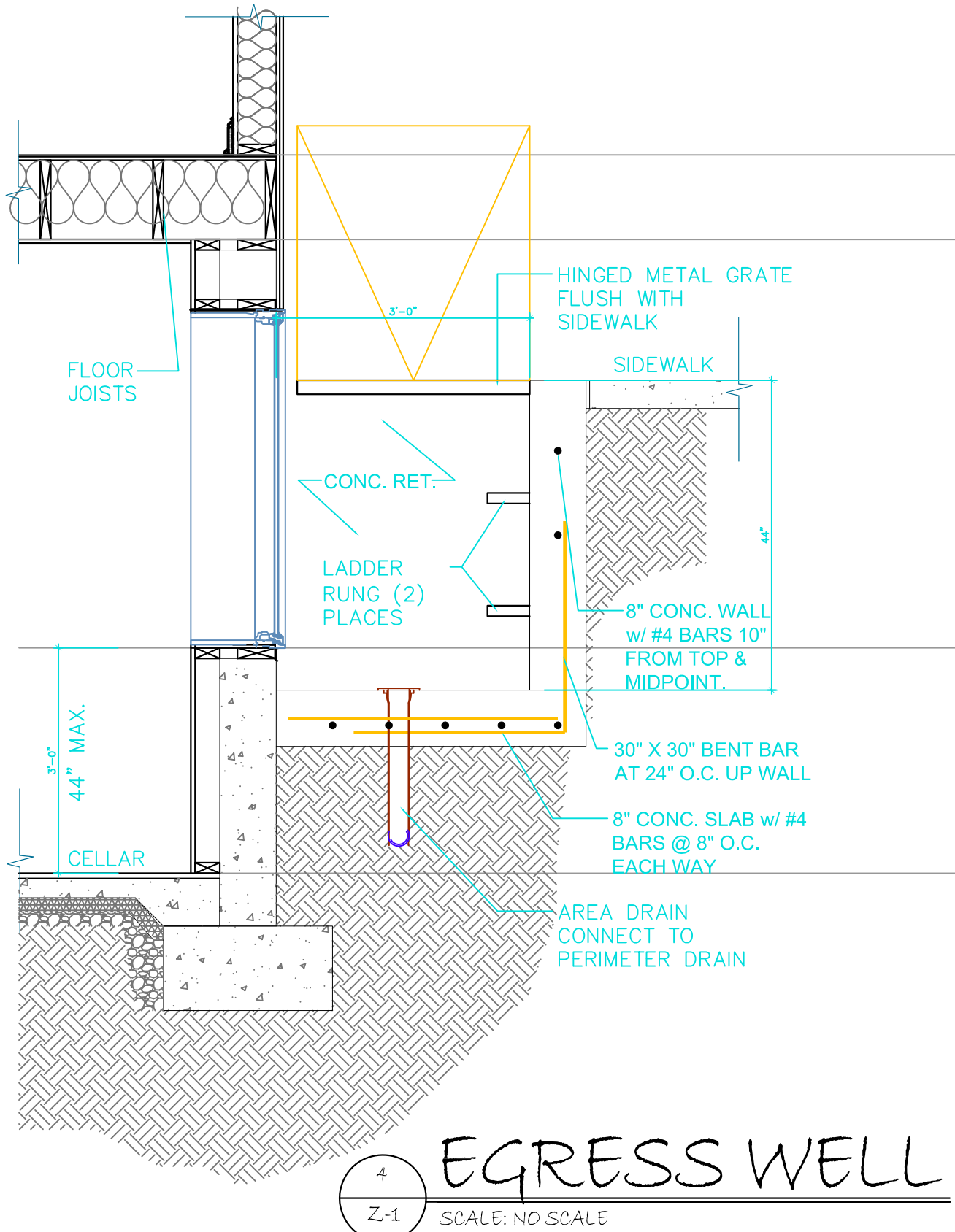


PHOTO 2

PROPOSED MULTI FAMILY RESIDENCE

PROPOSED (3) STORY (4) FAMILY RESIDENCE w/ CELLAR, PILOT HOUSE & ROOF DECK

638 NORTH 39TH STREET, PHILADELPHIA, PENNSYLVANIA



4
Z-1 EGRESS WELL
SCALE: NO SCALE

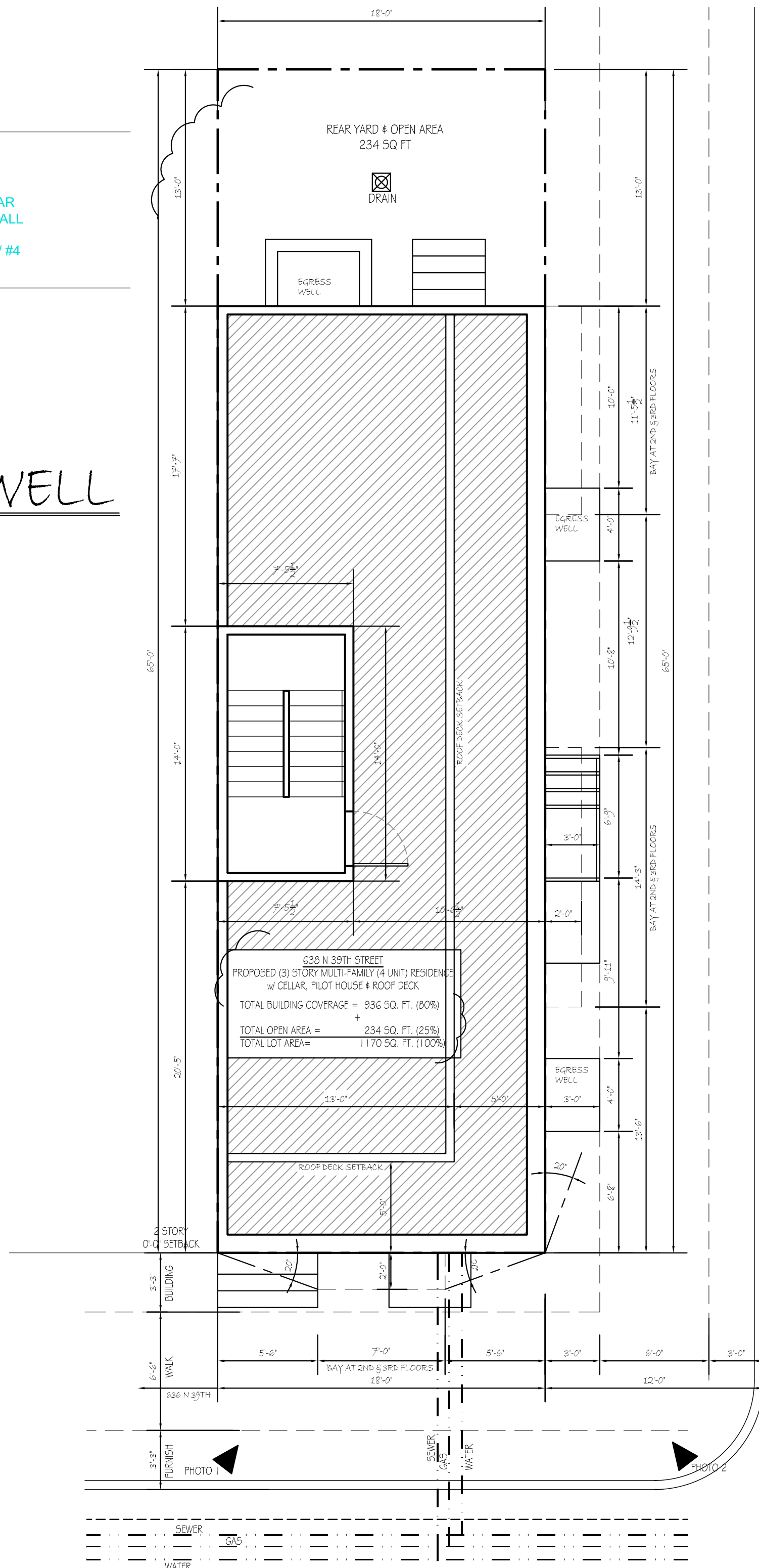


5
Z-1 WALLACE ST ELEV.
SCALE: 1/8"=1'-0"

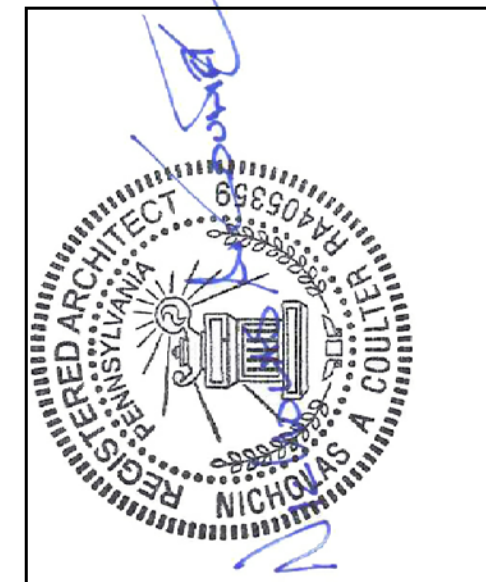
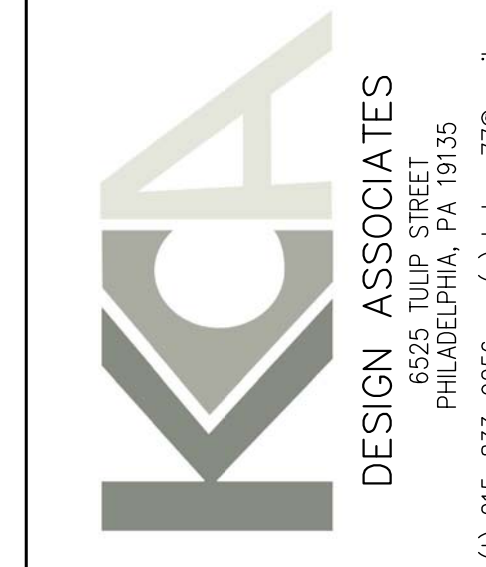


2
Z-1 FRONT ELEV.
SCALE: 3/16"=1'-0"

3
Z-1 REAR ELEV.
SCALE: 3/16"=1'-0"



1
Z-1 ZONING PLAN
SCALE: 1/4"=1'-0"



PROPOSED MULTI FAMILY RESIDENCE
638 NORTH 39TH STREET
PHILADELPHIA, PENNSYLVANIA

PROJECT

DWG. TITLE

ZONING PLAN & ELEVATIONS

REVISIONS:
RFI 1
RFI 2

DRAWN BY: HK
CHECKED BY: HK
DATE: 2020-04-21
SCALE: AS NOTED

JOB No: 638 NORTH 39TH S
FILE: 638 NORTH 39TH S

Z-1

Zoning Permit

Permit Number ZP-2020-001967

LOCATION OF WORK 638 N 39TH ST, Philadelphia, PA 19104-1854	PERMIT FEE \$850.00	DATE ISSUED 11/18/2020
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS RM1	

PERMIT HOLDER OWNER G LLC	3000 CHESTNUT ST UNIT 426 PHILADELPHIA PA 19101
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APPLICANT Hyon Kang DBA: KCA Design Associates	6525 Tulip Street Philadelphia, PA 19135USA
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TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT For the erection of an attached structure (with roof deck accessed by a pilot house enclosing access stairs only), size and location as shown on plan/application.
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APPROVED USE(S) Residential - Household Living - Multi-Family
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THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
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CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.



Post a copy of this permit in a conspicuous location along each frontage.

Permit must be posted within 5 days of issuance.

Zoning Permit

Permit Number ZP-2020-001967

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

638 N 39TH ST Philadelphia, PA 19104-1854

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

Four (4) Dwelling Units (using Mixed Income Housing Bonus as per 14-702(7)).

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



TAX ABATEMENT: Applications for Real Estate Tax Exemption are available from the Office of Property Assessment (OPA). For more Info. visit www.phila.gov/opa; 601 Walnut St., 3rd Fl, Phila. PA 19106 or Call (215) 686-9200. All Applications are due by Dec. 31st of the year of permit issuance.