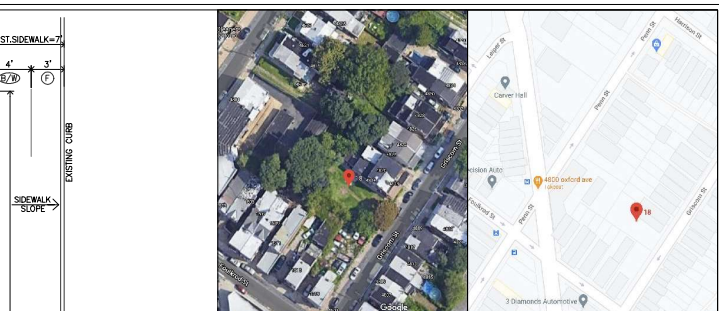
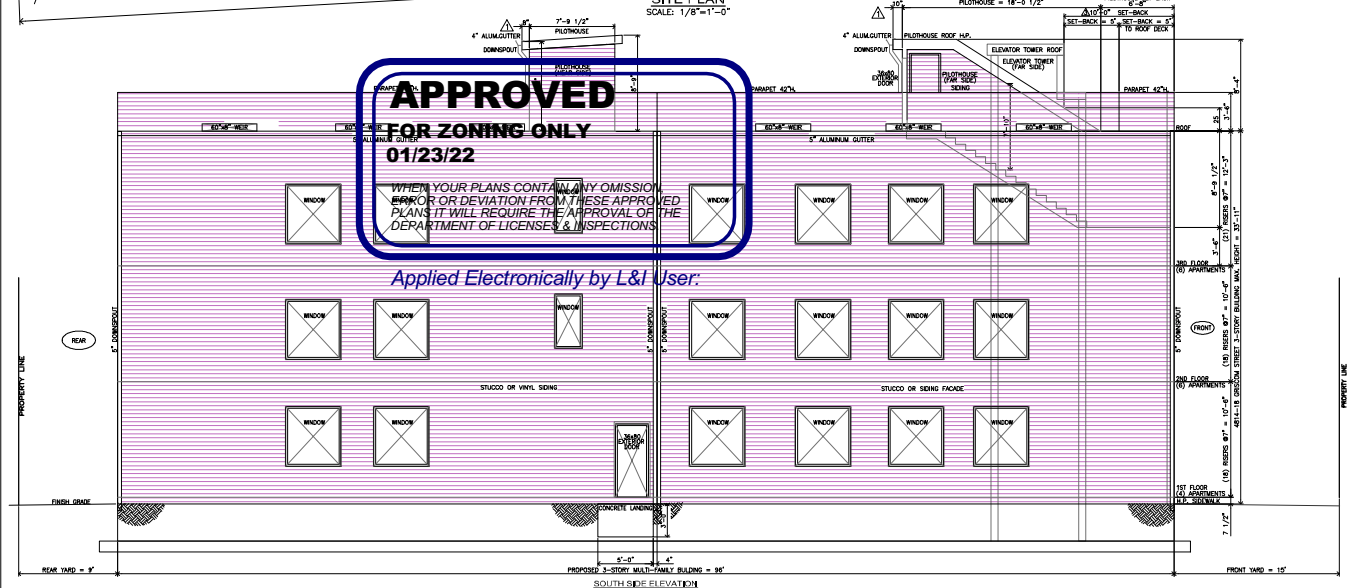
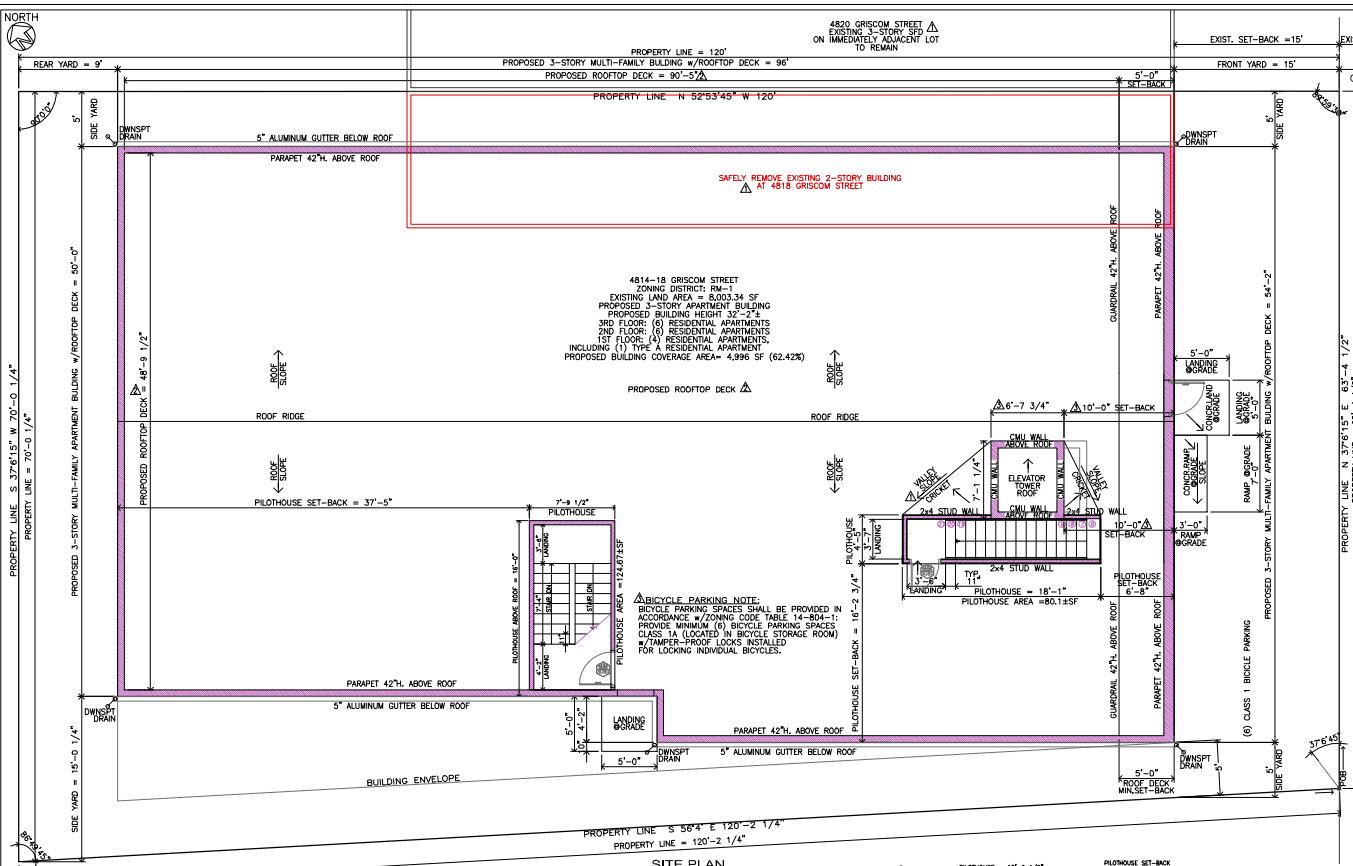




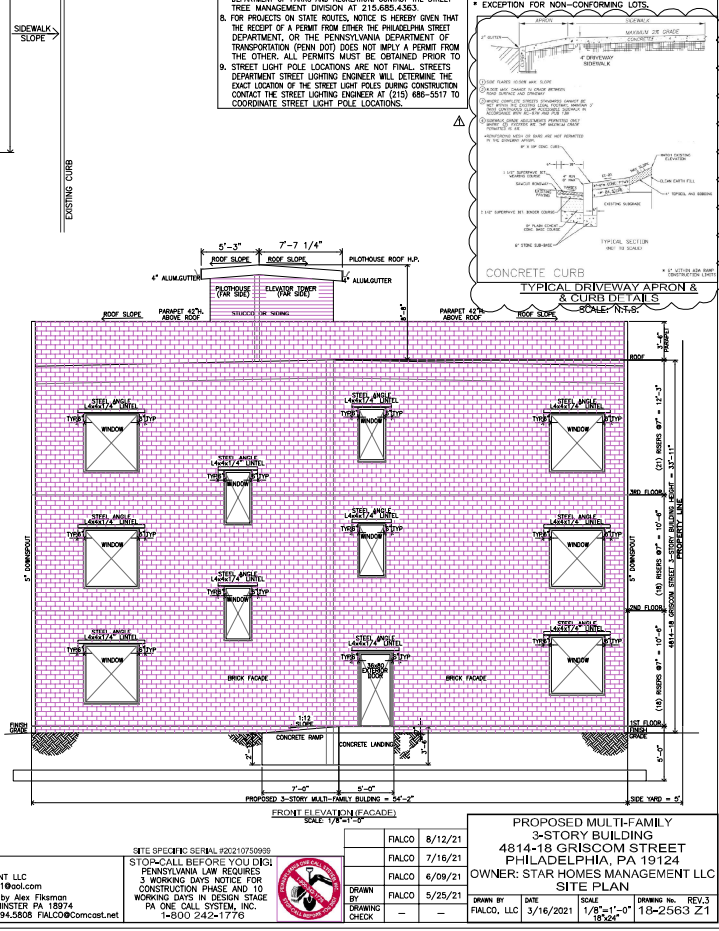
NOTES:

- WORK TO BE DONE IN ACCORDANCE WITH STANDARD SPECIFICATIONS, APPROVED DRAWINGS, AND REGULATIONS OF THE DEPARTMENT OF STREETS, PHILADELPHIA PARKS & RECREATION DEPARTMENT, AND SPECIAL PROVISIONS OF THE PROPOSAL.
- PURSUANT TO THE REQUIREMENTS OF PHILADELPHIA ACT 287 (1724), AND AS AMENDED, THE CONTRACTOR SHALL CONDUCT THE PENNSYLVANIA ONE CALL SYSTEM AT 1.800.242.1776 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATION.
- UTILITIES SHOWN ARE TAKEN FROM PUBLIC RECORD. THE CONTRACTOR MUST VERIFY THE EXACT LOCATION AND DEPTH. HORIZONTAL AND VERTICAL CONTROL, LINE AND GRADE STAKES FOR CURBS, PAVING, ETC. WILL BE FURNISHED BY THE SURVEY DISTRICT OF CITY OF PHILADELPHIA BASED ON ITEM #4-1040.
- NOTE: THIS ITEM ENGINEERING SERVICES, IS A PRE-DETERMINED BY THE SURVEYOR & REGULATOR AND TO BE INCLUDED IN THE CONTRACTOR'S BID.
- PERMIT FOR BOLLARDS, CURB, & SIDEWALK PAVING WILL BE FURNISHED BY CITY OF PHILADELPHIA HIGHWAY DISTRICT.
- THE CITY OF PHILADELPHIA SHALL PROVIDE INSPECTION SERVICES FOR PAVING AND RELATED WORK TO BE PAID UNDER ITEM #4-1041 AT COST OF \$245 PER DAY. THE CONTRACTOR SHALL CONTACT THE CONSTRUCTION UNIT OF THE DIVISION OF SURVEYS, DESIGN & CONSTRUCTION AT 215.686.5639, A MINIMUM OF 2 WEEKS PRIOR TO START OF WORK. THIS ITEM INSPECTION SERVICES, SHALL BE INCLUDED IN THE CONTRACTOR'S BID.
- STREET TREES MUST BE PERMITTED BY THE PHILADELPHIA DEPARTMENT OF PARKS AND RECREATION, CONTACT THE STREET TREE MANAGEMENT DIVISION AT 215.685.4363.
- FOR PROJECTS ON STATE ROUTES, NOTICE IS HEREBY GIVEN THAT THE RECEIPT OF A PERMIT FROM EITHER THE PHILADELPHIA STREET DEPARTMENT, OR THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION (PENNDOT) DOES NOT MEAN A PERMIT FROM THE OTHER. ALL PERMITS MUST BE OBTAINED PRIOR TO STREET LIGHT POLE LOCATIONS ARE NOT FINAL. STREET DEPARTMENT STREET LIGHTING ENGINEER WILL DETERMINE THE EXACT LOCATION OF THE STREET LIGHT POLES DURING CONSTRUCTION. CONTACT THE STREET LIGHTING ENGINEER AT (215) 886-2617 TO COORDINATE STREET LIGHT POLE LOCATIONS.

CONCRETE CURB

TYPICAL DRIVEWAY APRON & CURB DETAILS

SCALE: N.T.S.



Zoning Permit

Permit Number ZP-2021-004023

LOCATION OF WORK 4814-18 GRISCOM ST, Philadelphia, PA 19124-5942	PERMIT FEE \$672.00	DATE ISSUED 1/26/2022
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS RM1	

PERMIT HOLDER STAR HOMES MANAGEMENT LLC	150 KELLY BLVD STATEN ISLAND NY 10314
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OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT FOR THE ERECTION OF A DETACHED STRUCTURE WITH CELLAR AND AN ACCESSORY ROOF DECK (FOR RESIDENTIAL USE ONLY) WITH ROOF ACCESS STRUCTURES. SIZE AND LOCATION AS SHOWN IN THE APPLICATION / PLAN.

APPROVED USE(S) Residential - Household Living - Multi-Family
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THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
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CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2021-004023

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

4814-18 GRISCOM ST, Philadelphia, PA 19124-5942

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR MULTI-FAMILY HOUSEHOLD LIVING SIXTEEN (16) DWELLING UNITS AND SIX (6) OFF STREET BICYCLE (CLASS 1A) PARKING SPACES ON AN ACCESSIBLE ROUTE.

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.