

Zoning Permit

Permit Number ZP-2025-007002

LOCATION OF WORK 4641 LESHER ST, Philadelphia, PA 19124-3321	PERMIT FEE \$1,871.00	DATE ISSUED 9/17/2025
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS RM1	

PERMIT HOLDER Coleman Greenville Partners, LLC	490 43rd St Oakland, California 94609
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OWNER CONTACT 1 Calvin Moree	490 43rd St, Oakland, CA 94609
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OWNER CONTACT 2	
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TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT NEW CONSTRUCTION, MULTIFAMILY (FOUR DWELLING UNITS), THREE-STORY ATTACHED STRUCTURE. AS PER APPROVED PLAN NTE 38' IN HEIGHT

APPROVED USE(S) Residential - Household Living - Multi-Family
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THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
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CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

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ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

4641 LESHER ST Philadelphia, PA 19124-3321

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

Four units

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement available from Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of building permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of building permit issuance.

4641 LESHER ST. PHILADELPHIA, PA 19124

PROJECT DESCRIPTION : NEW CONSTRUCTION, MULTIFAMILY (FOUR DWELLING UNITS), THREE-STORY
ATTACHED STRUCTURE. BUILDING SIZE AND HEIGHT PER PLAN AND COMPLIANCE TABLE FOR PARCEL'S
ZONING DISTRICT.

OCCUPANCY: RM-1 (RESIDENTIAL MULTIFAMILY-1)

AREA OF EARTH DISTRURBANCE: 1320.08-SF

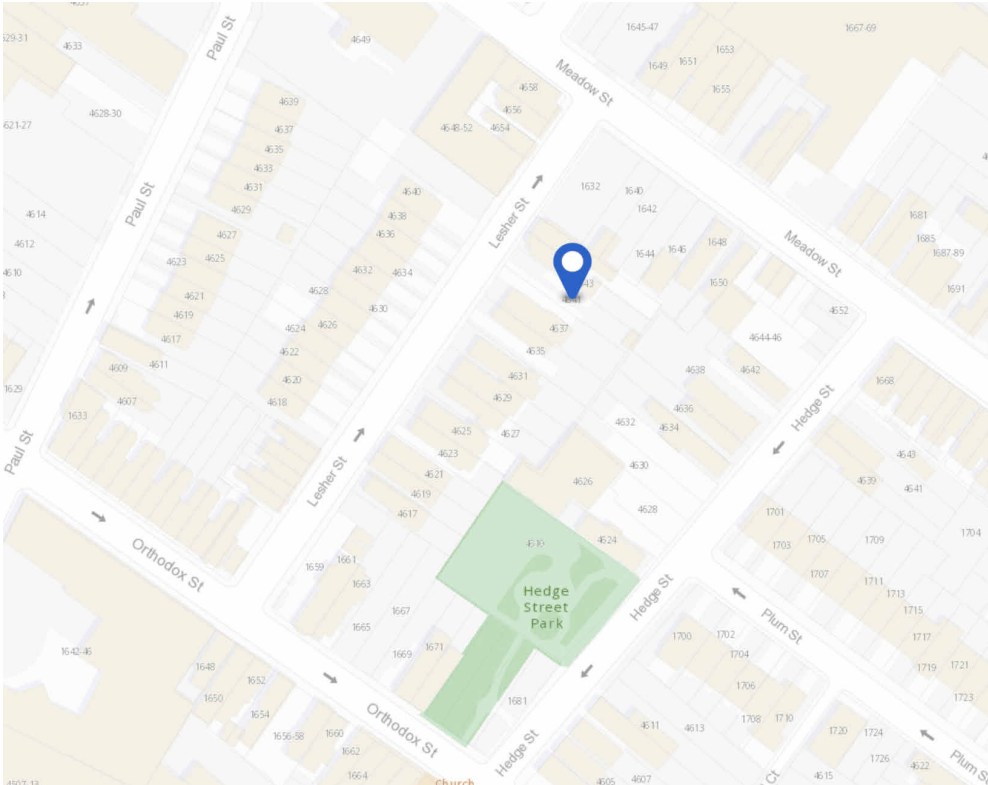
ZONING TABLE			
PARCEL NO.	ADDRESS	AREA	PROPOSED
331404000	4641 LESHER ST	2360.39-SF	RESIDENTIAL
BASE ZONING DISTRICT		RM-1	
PERMITTED BUILDING TYPE			
DETACHED; SEMI-DETACHED, ATTACHED			
USES PERMITTED AS OF RIGHT:			
MULTIFAMILY, SINGLE-FAMILY, SEE PHILADELPHIA ZONING CODE FOR MORE			
PROPOSED USE:			
FOUR-FAMILY ATTACHED RESIDENTIAL STRUCTURE.			
	REQUIRED	EXISTING/PROPOSED	
LOT DIMENSIONS			
MIN. LOT WIDTH (FT)	16 FT	VARIES	
MIN. LOT AREA (SQ FT)	1440 SQ.FT.	2360.39 SQ.FT.	
MIN. OPEN AREA (% OF LOT)	25% (590.1-SF)	43.41%(1024.57-SF)	
FRONT SETBACK			
MINIMUM (FT)	(BASED ON ADJACENT)	13FT 2IN	
MIN. SIDE YARD WIDTH (6), PERMITTED RESIDENTIAL USES AS SET FORTH IN 14-701			
DETACHED, INTERMEDIATE (FT)	2/5 EACH	N/A (ATTACHED)	
DETACHED, CORNER (FT)	5 FT		
SEMI-DETACHED (FT)	5 FT		
ATTACHED (FT)			
MIN. SIDE YARD WIDTH (6) PERMITTED NONRESIDENTIAL USES AS SET FRONT IN 14-701			
DETACHED, INTERMEDIATE (FT)	2/8 EACH	N/A, RESIDENTIAL	
DETACHED, CORNER (FT)	8 FT		
REAR YARD			
MIN. DEPTH (FT)	9'-0"	37'- 9"	
HEIGHT			
MAXIMUM (FT)	38 FT	38 FT	
OPEN SPACE SQUARE FOOTAGE			
REAR YARD (SQ FT)	144 SQ FT	712.63 SQ FT	
SIDE YARD (SQ FT)	N/A	182.16 SQFT	
FRONT YARD (SQ FT)		129.78 SQ FT	
BUILDING DENSITY COMPLIANCE			
LOT SIZE = 1440/360> 4 UNITS 920.39/480 - 1.9> 1 UNIT			5 DWELLING UNITS ALLOWED BY-RIGHT
STREET DEPARTMENT RIGHT OF WAY		IMPACTS PER BELOW	
STREET BREAK-DOWN: 7-FT SIDEWALK - 26-FT CARTWAY - 7-FT SIDEWALK =		L ST 40-FT WIDE	
	ENCROACHMENT TYPE	DIMENSION	
	PROPOSED/EXISTING	ENCROACHMENT TYPE	
STAIR / STEPS	NONE	NONE	
WINDOW WELL			
BAY WINDOW			



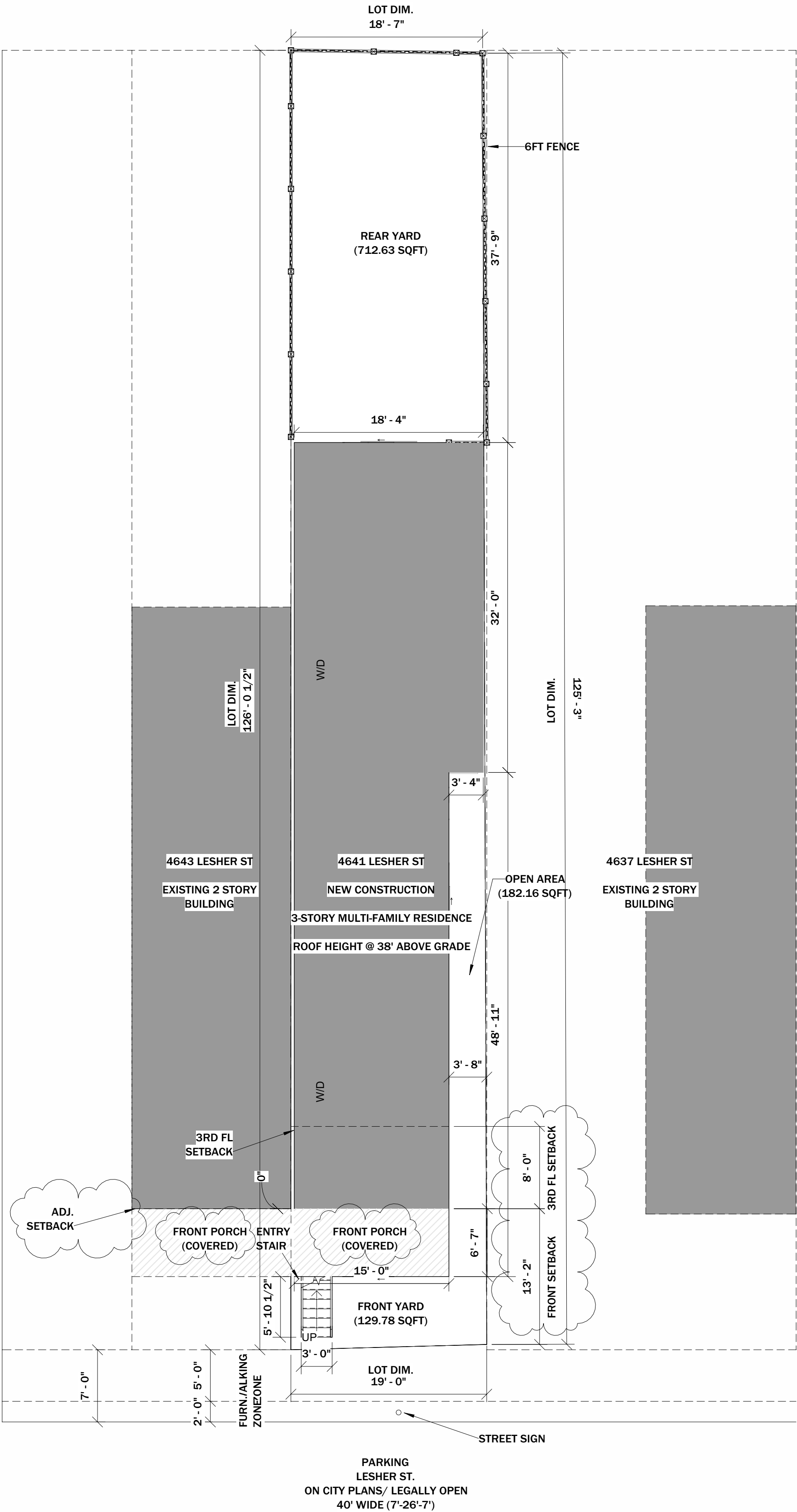
② 3D PERSPECTIVE



② SITE
3" = 1'-0"



③ LOCATION MAP
3" = 1'-0"



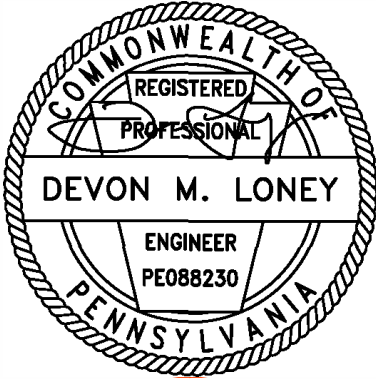
④ PROPOSED SITE PLAN
1/8" = 1'-0"



NEW CONSTRUCTION
FOUR-FAMILY BUILDING

4641 LESHER ST
PHILADELPHIA, PA 19124

Project No. LEC3548N-0



Revisions

0 6/30/2025

Notes

- THESE DRAWINGS ARE NOT VALID FOR PERMITTING, CONSTRUCTION, OR BIDDING PURPOSES UNLESS SEALED AND SIGNED BY DEVON LONEY, P.E. CONTACT INFO@LONEYENGINEERING.COM FOR VERIFICATION.
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Project North

Scale As Indicated

ZONING PLAN

Z-100

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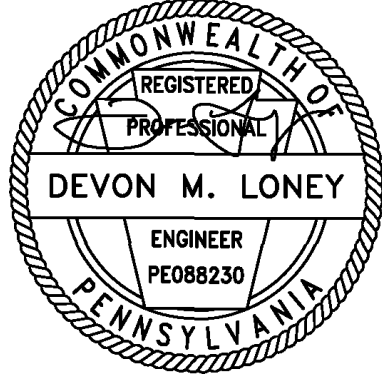


Applied by L&I: Raymond Carkey

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Project North

Scale 3/16" = 1'-0"

ZONING PLAN

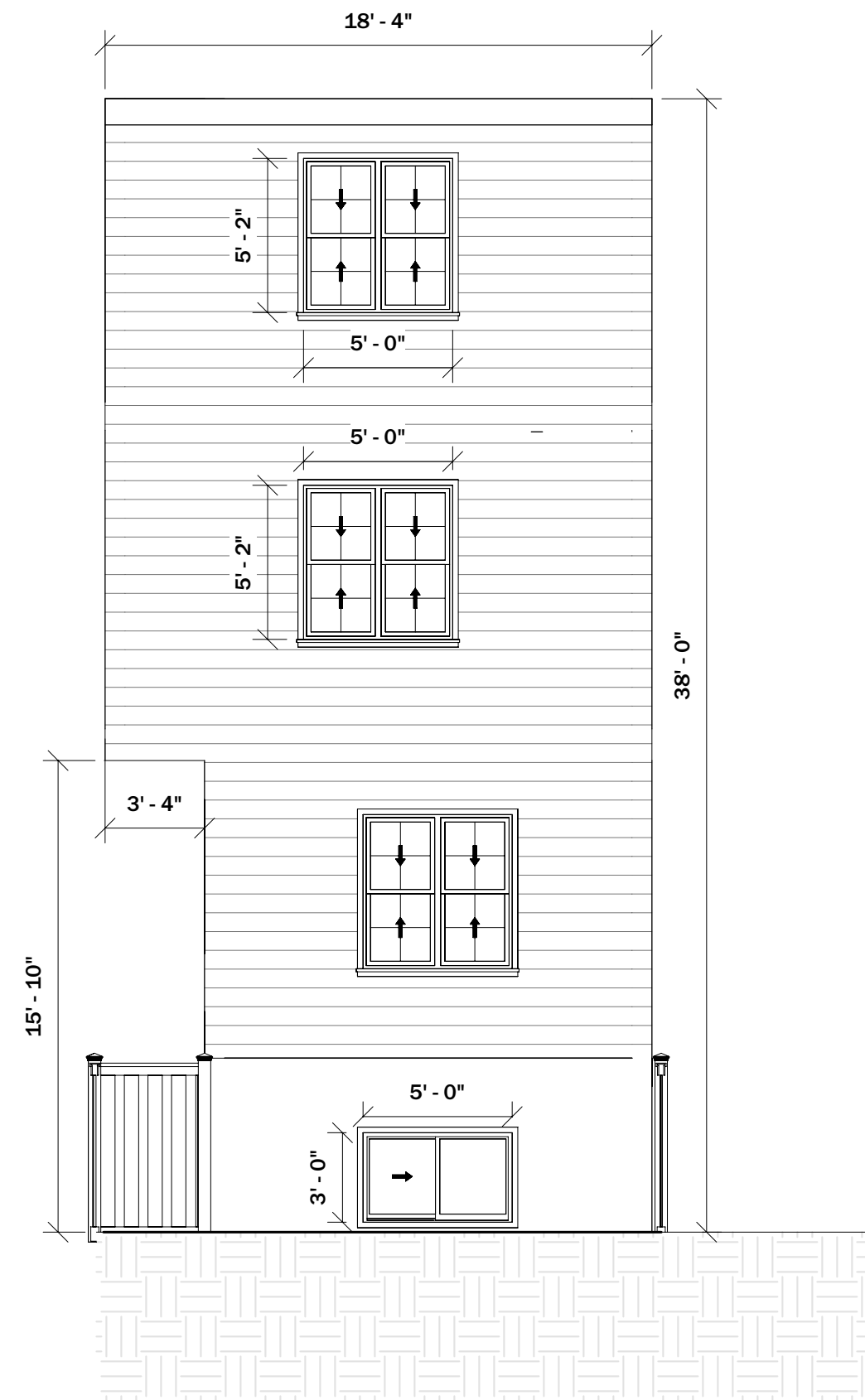
Z-101



1 ZONING SIDE ELEVATION
3/16" = 1'-0"



2 ZONING FRONT ELEVATION
3/16" = 1'-0"



3 ZONING REAR ELEVATION
3/16" = 1'-0"

AHJ APPROVAL STAMP

