

Notice of: ☒ **Refusal** ☐ **Referral**

Application Number: ZP-2024-006609	Zoning District(s): RM1	Date of Refusal: 7/17/2024
Address/Location: 610 W NORRIS ST, Philadelphia, PA 19122-2114 Parcel (PWD Record)		Page Number Page 1 of 1
Applicant Name: Alan Nochumson DBA: Nochumson P.C.	Applicant Address: 1 South Broad St Suite 1000 Philadelphia, PA 19107 USA	Civic Design Review? N

Application for:

FOR THE ERECTION OF AN ATTACHED STRUCTURE WITH A CELLAR. SIZE AND LOCATION AS SHOWN ON PLANS. FOR MULTI-FAMILY HOUSEHOLD LIVING (FOUR (4) FAMILIES).

The permit for the above location cannot be issued because the proposal does not comply with the following provisions of the Philadelphia Zoning Code. (Codes can be accessed at www.phila.gov.)

<u>Code Section(s):</u>	<u>Code Section Title(s):</u>	<u>Reason for Refusal:</u>												
14-602(3)(a)[1]	Residential Use Table Note 1	The proposed use, multi-family household living (four (4) families), is prohibited in residential district, RM-1, with a lot area of 1065.5 square feet. <table> <tr> <th></th><th>REQUIRED</th><th>PROVIDED</th></tr> <tr> <td>MINIMUM LOT AREA (FOUR (4) FAMILIES)</td><td>1,440 SQ. FT.</td><td>1065.5 SQ.FT.</td></tr> </table>		REQUIRED	PROVIDED	MINIMUM LOT AREA (FOUR (4) FAMILIES)	1,440 SQ. FT.	1065.5 SQ.FT.						
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Table 14-701-2	Dimensional Standards for Higher Density Residential Districts	All primary and accessory structures must comply with the dimensional standards per Table 14-701-2 for residential district, RM-1. Whereas the proposed structure does not comply with the following dimensional standards: <table> <tr> <th></th><th>REQUIRED/ ALLOWED</th><th>PROPOSED</th></tr> <tr> <td>MAXIMUM OCCUPIED AREA, INTERMEDIATE (% OF LOT AREA)</td><td>799.1 SQ. FT. (75%)</td><td>945.6 SQ. FT. (88.7%)</td></tr> <tr> <td>MINIMUM REAR YARD DEPTH</td><td>9 FT.</td><td>7.2 FT.</td></tr> <tr> <td>MINIMUM REAR YARD AREA</td><td>144 SQ. FT.</td><td>119.9 SQ. FT.</td></tr> </table>		REQUIRED/ ALLOWED	PROPOSED	MAXIMUM OCCUPIED AREA, INTERMEDIATE (% OF LOT AREA)	799.1 SQ. FT. (75%)	945.6 SQ. FT. (88.7%)	MINIMUM REAR YARD DEPTH	9 FT.	7.2 FT.	MINIMUM REAR YARD AREA	144 SQ. FT.	119.9 SQ. FT.
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ONE (1) USE REFUSAL
THREE (3) ZONING REFUSALS

Fee to File Appeal: \$ 300

Parcel Owner:

ABAZI ENAM

Zoning Overlay District:
DORMismatchReview\NIS Narcotics Injection Sites Overlay District\VDO Fifth District Overlay District

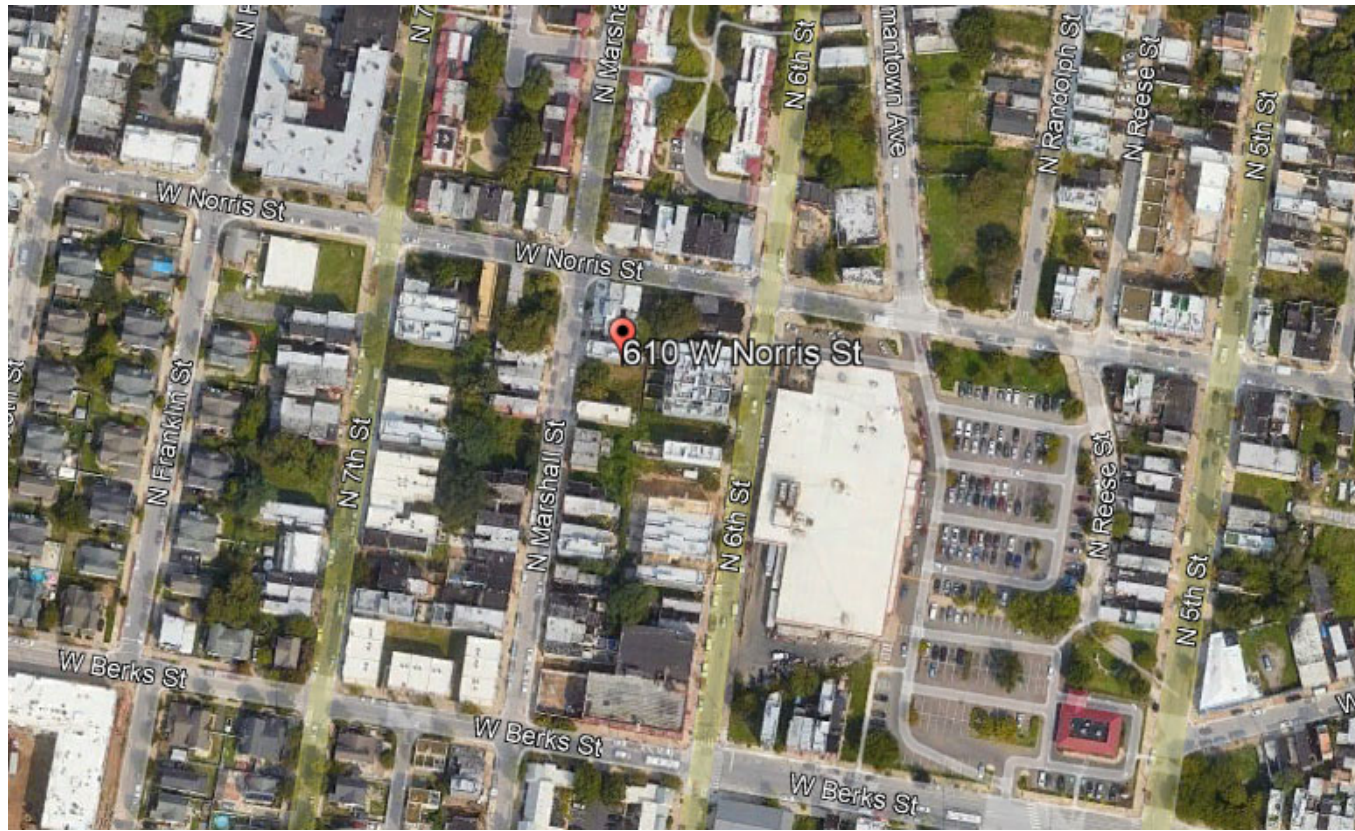


FREDERICK MARSHALL
PLANS EXAMINER

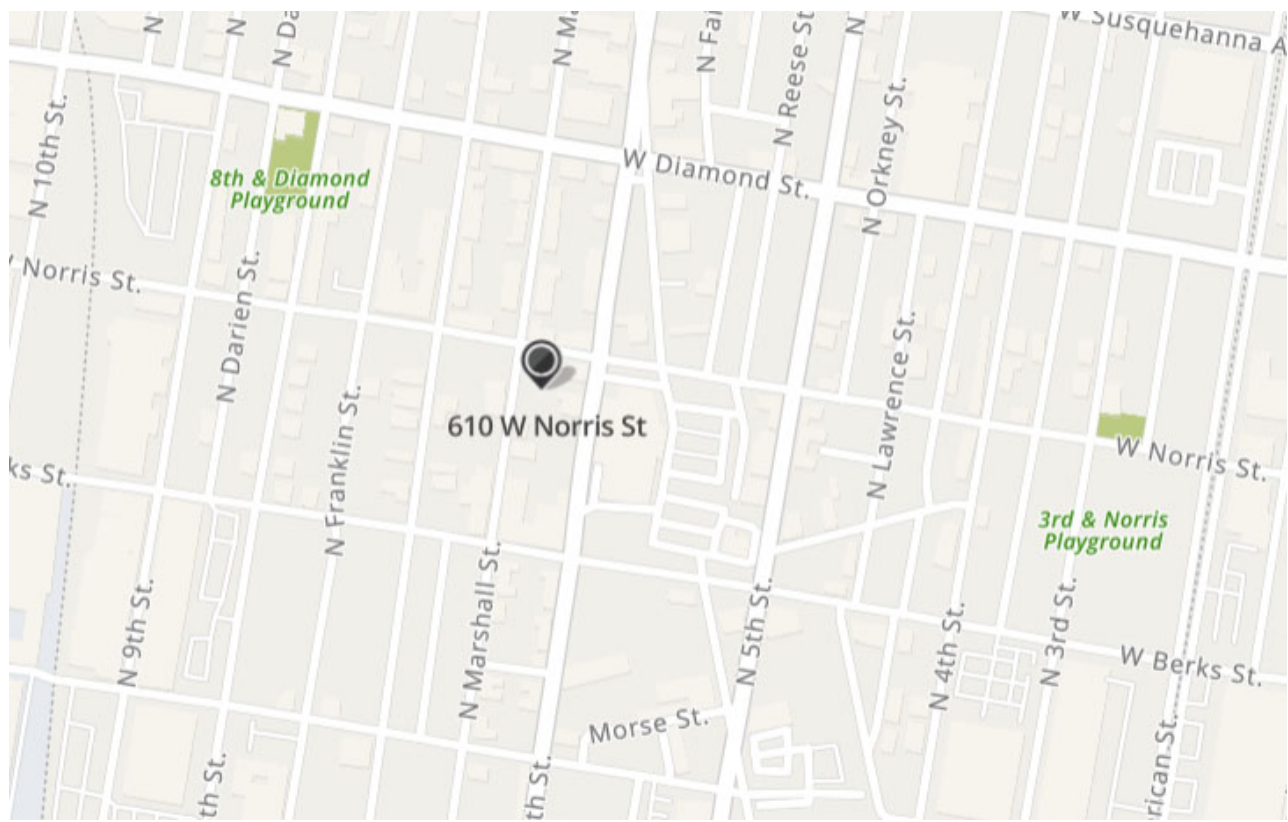
7/17/2024
DATE SIGNED

Notice to Applicant: An appeal from this decision may be made to the Zoning Board of Adjustment, One Parkway Building, 1515 Arch St., 18th Fl., Phila., PA 19102 within thirty (30) days of date of Refusal / Referral. Please see appeal instructions for more information.

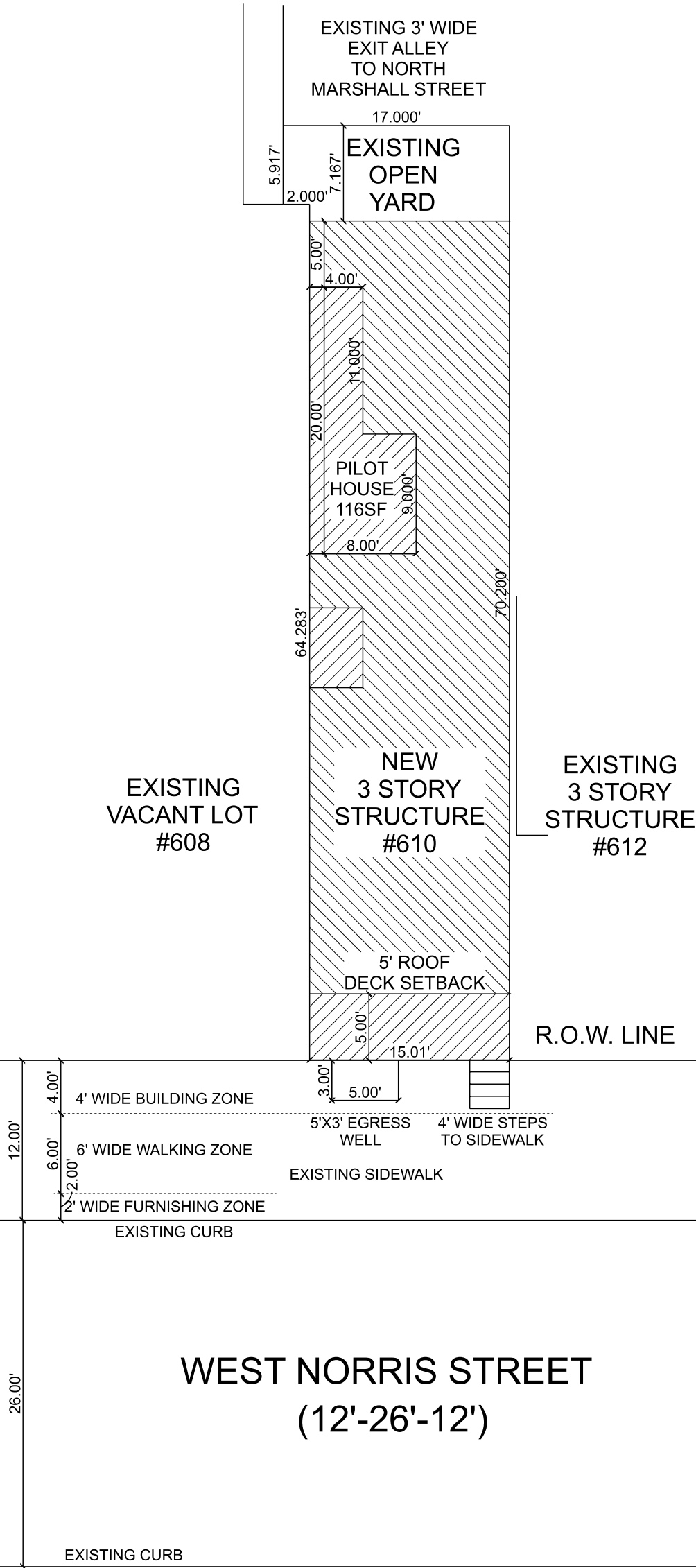
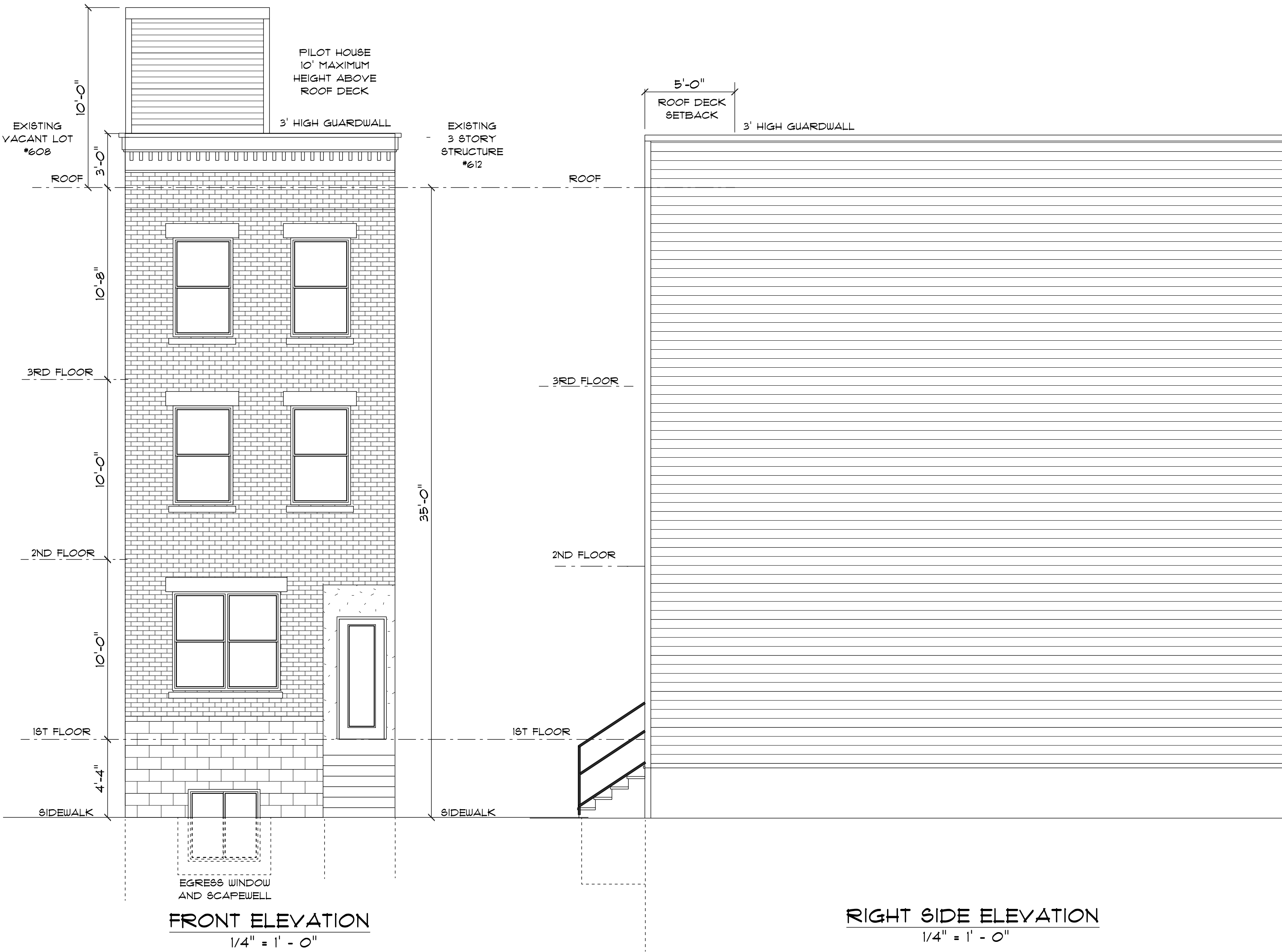
NEW 3 STORY, 4 FAMILY BUILDING
610 W NORRIS STREET, PHILADELPHIA, PA



AERIAL VIEW



LOCATION MAP

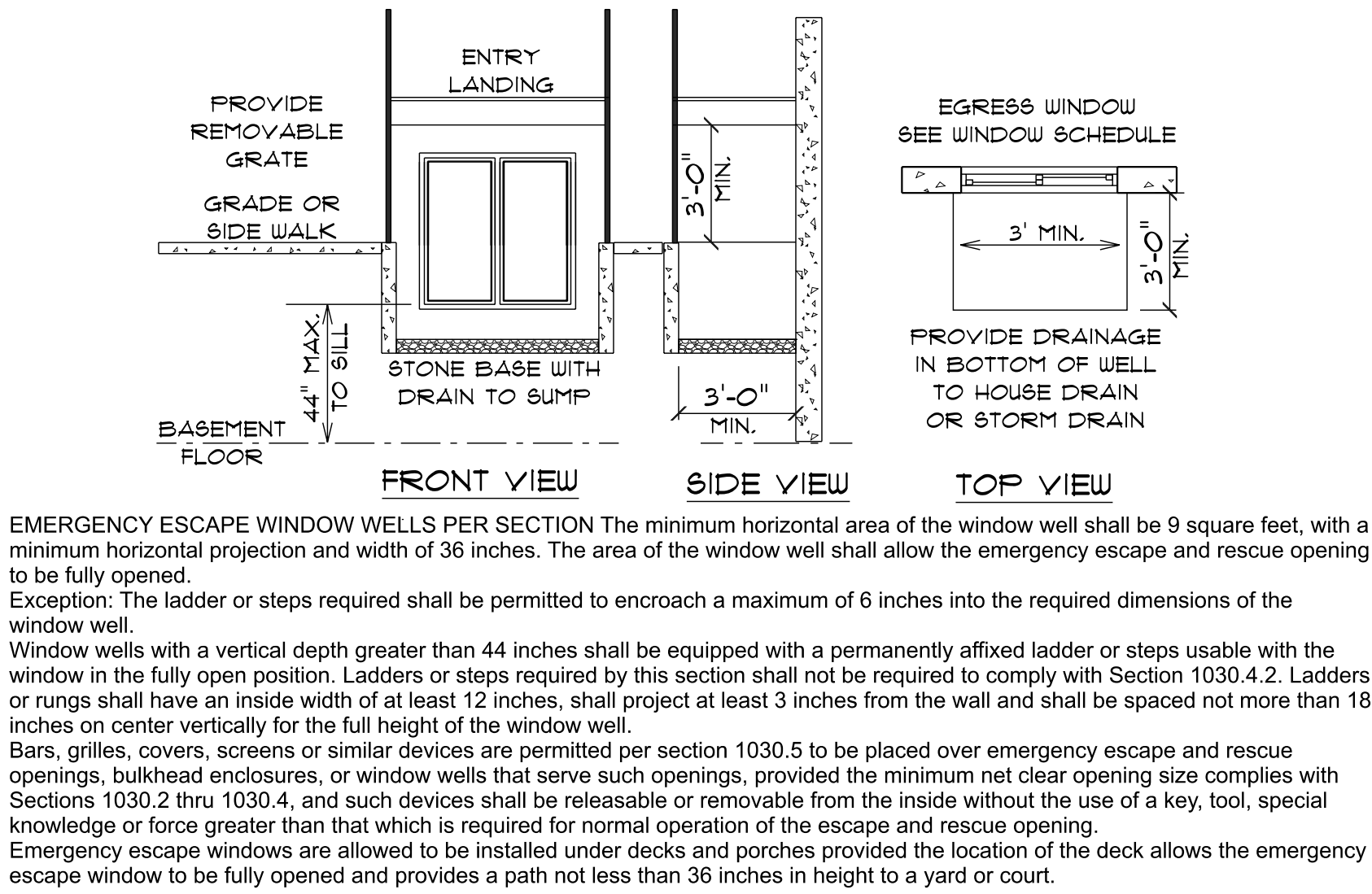


PROPOSED SITE PLAN

1" = 10'

LOT SIZE	1,065.5SF
NEW 3 STORY STRUCTURE	945.6SF
OPEN SPACE	119.9SF
	11.3%

ZONE	RM-1
FRONT YARD	N/A
REAR YARD	> 9' OR 10%
SIDE YARDS	NA
MIN. OPEN AREA	25%
MAXIMUM HEIGHT	38'



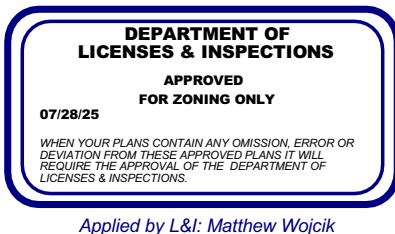
BASEMENT EMERGENCY ESCAPE WINDOW



VIEW EAST



VIEW WEST



PAUL DIETZ, III, P.E.

Here's The Plan, LLC

541 Street Road, 2nd floor, Southampton, PA 18966
Office: 215-355-1262 Email: herestheplanllc@gmail.com

NEW 3 STORY MULTI-FAMILY BUILDING - 4 UNIT

610 W NORRIS STREET PHILADELPHIA, PA	DRAWN BY: E.S./R.A. DATE: JUNE 15, 2024
PLANS, SPECIFICATIONS, SECTION	REV. DRAWING NUMBER 21 of 2

Zoning Permit

Permit Number ZP-2024-006609

LOCATION OF WORK 610 W NORRIS ST, Philadelphia, PA 19122-2114	PERMIT FEE \$1,877.00	DATE ISSUED 10/2/2024
	ZBA CALENDAR MI-2024-004761	ZBA DECISION DATE 10/2/2024
	ZONING DISTRICTS RM1	

PERMIT HOLDER ABAZI ENAM	1516 N HANCOCK ST ABAZI ENAM PHILADELPHIA PA 19122
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OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT **AMENDMENT DATED 7/28/2025 to add roof deck and roof deck access structure (enclosing access stairs only) as per revised plans.** For the erection of an attached structure, size and location as shown on plan/application.

APPROVED USE(S) Residential - Household Living - Multi-Family
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THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
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CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2024-006609

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

610 W NORRIS ST Philadelphia, PA 19122-2114

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

For use as Multi-Family Household Living (Four (4) Dwelling Units).

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

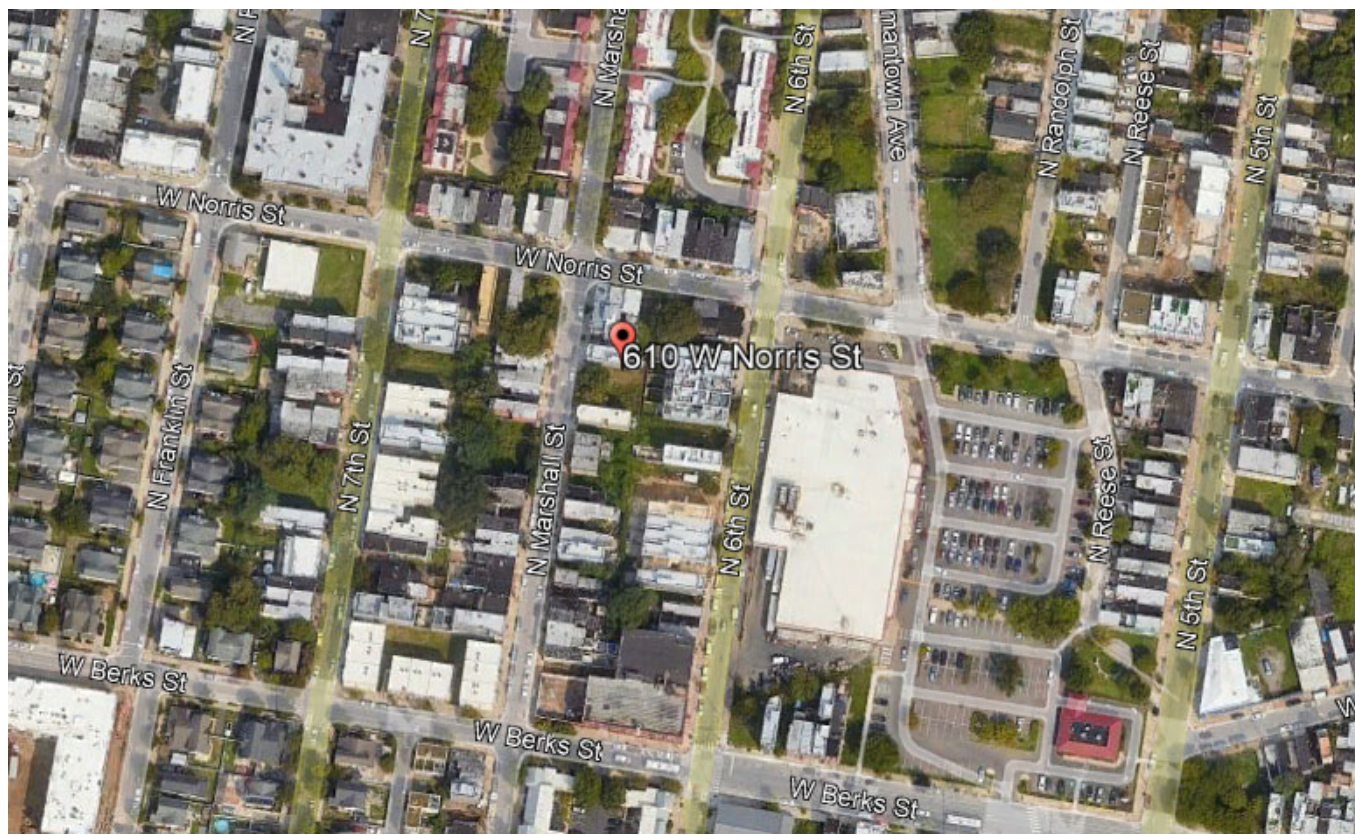
Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.

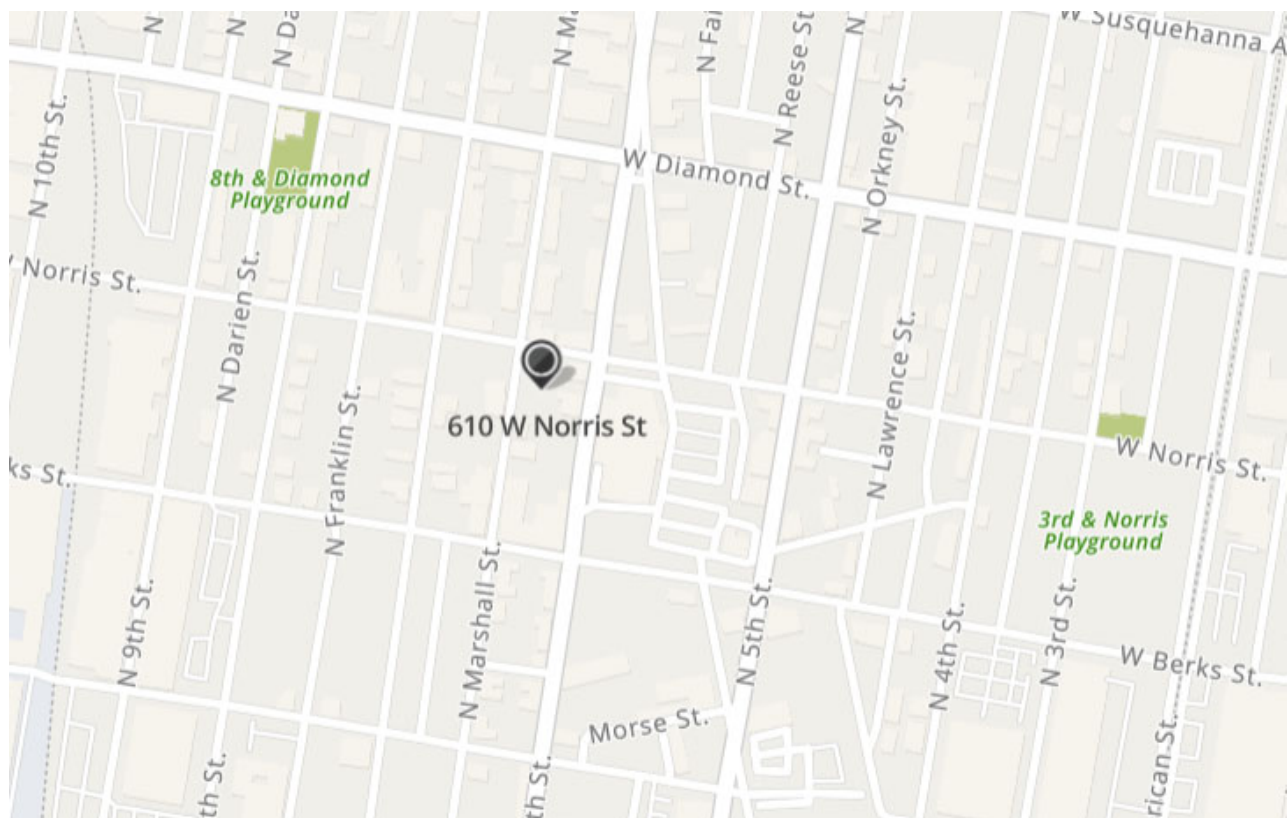


Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.

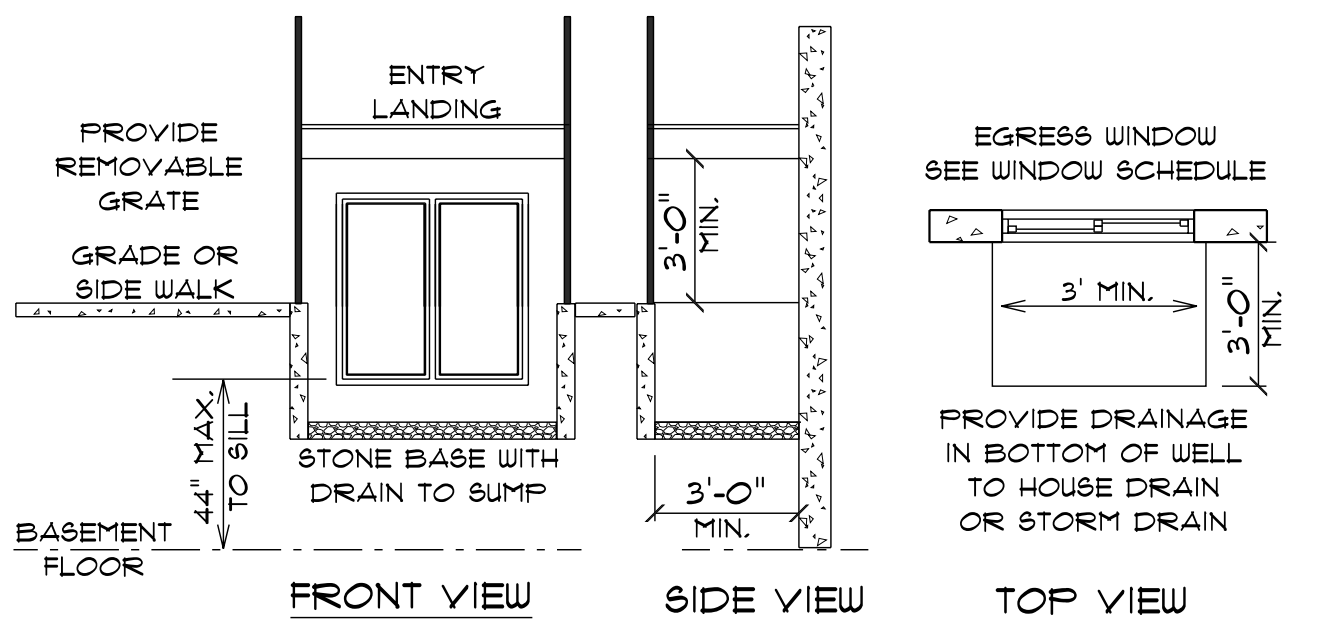
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AERIAL VIEW



LOCATION MAP



EMERGENCY ESCAPE WINDOW WELLS PER SECTION The minimum horizontal area of the window well shall be 9 square feet, with a minimum horizontal projection and width of 36 inches. The area of the window well shall allow the emergency escape and rescue opening to be fully opened.
Exception: The ladder or steps required shall be permitted to encroach a maximum of 6 inches into the required dimensions of the window well.
Window wells with a vertical depth greater than 44 inches shall be equipped with a permanently affixed ladder or steps usable with the window in the fully open position. Ladders or steps required by this section shall not be required to comply with Section 1030.4.2. Ladders or rungs shall have an inside width of at least 12 inches, shall project at least 3 inches from the wall and shall be spaced not more than 18 inches on center vertically for the full height of the window well.
Bars, grilles, covers, screens or similar devices are permitted per section 1030.5 to be placed over emergency escape and rescue openings, bulkhead enclosures, or window wells that serve such openings, provided the minimum net clear opening size complies with Sections 1030.2 thru 1030.4, and such devices shall be releasable or removable from the inside without the use of a key, tool, special knowledge or force greater than that which is required for normal operation of the escape and rescue opening.
Emergency escape windows are allowed to be installed under decks and porches provided the location of the deck allows the emergency escape window to be fully opened and provides a path not less than 36 inches in height to a yard or court.

BASEMENT EMERGENCY ESCAPE WINDOW



VIEW EAST



VIEW WEST

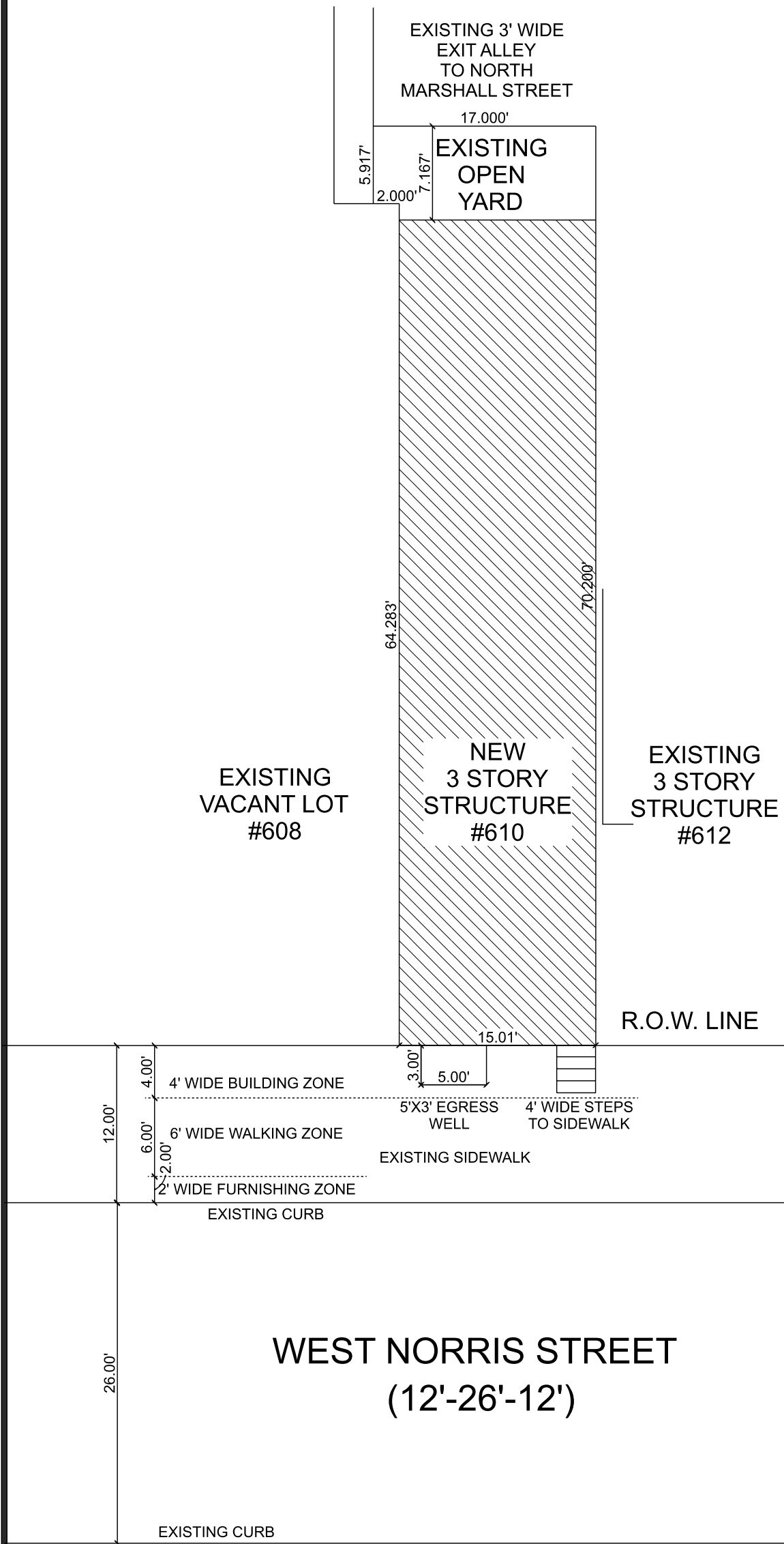


FRONT ELEVATION

1/4" = 1' - 0"

RIGHT SIDE ELEVATION

1/4" = 1' - 0"



PROPOSED SITE PLAN

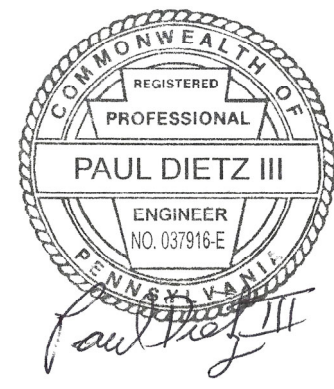
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Applied by L&I: Matthew Wojcik



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PLANS, SPECIFICATIONS, SECTION

DRAWN BY: E.S./R.A.

DATE: JUNE 15, 2024

REV.

DRAWING NUMBER

Z1 of 2