

PROPERTY ADDRESS
535 W YORK ST
PHILADELPHIA, PA 19133-2522

PROJECT INFO

SCOPE OF WORK :	NEW (3) THREE STORY BUILDING WITH BASEMENT, BAY WINDOWS, (2) TWO ROOF DECKS AND (2) TWO PILOT HOUSES FOR THE USE OF A MULTI-FAMILY DWELLING/ 4 UNITS.		
OCCUPANCY TYPE :	R-2 RESIDENTIAL MULTI-FAMILY DWELLING/ 4 UNITS		
CONSTRUCTION TYPE :	VB		
LOT SIZE AND AREA :	BUILDING FOOTPRINT	1,073.931 SF	
	OPEN AREA	594.069 SF	
	TOTAL AREA	1,668 SF	
BUILDING DATA:	BASEMENT FLOOR	1,059.8 SF	
	1ST FLOOR	1,059.8 SF	
	2ND FLOOR	1,126.9 SF	
	3RD FLOOR	1,126.9 SF	
	PILOT HOUSE(S)	207.8 SF	
	TOTAL BUILDING AREA	3,521.4VVV SF	
(CELLAR/ BASEMENT EXCLUDED)			

APPLICABLE CODES

2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL RESIDENTIAL CODE
2018 INTERNATIONAL MECHANICAL CODE
2017 NATIONAL ELECTRICAL CODE
2018 INTERNATIONAL PERFORMANCE BUILDING CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2018 INTERNATIONAL FIRE CODE
2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL PLUMBING CODE
2017 ANSI A117.1

ZONING CODE SUMMARY

APPLICABLE CODE: PHILADELPHIA ZONING CODE, 12TH EDITION, 2020			
RM-1	REQUIRED	EXISTING	PROPOSED
MIN. LOT WIDTH (FT.)	16	17'-4 1/2"	17'-4 1/2"
MIN. LOT AREA (SQ. FT.)	1,440 [1]	1,668 SF	1,668 SF
MAX. OCCUPIED AREA (% OF LOT AREA)	INTERMEDIATE 75; CORNER 80 [2]	0%	64.384% - 1,073.931 SF
MIN. FRONT SETBACK (FT.)	[5][6]	0'-0"	26'-0"
MIN. REAR YARD DEPTH (FT.)	9 [9]	0'-0"	9'-0"
MIN. REAR YARD AREA (SQ. FT.)	144 [9]	NONE	156.375 SF
MAX. HEIGHT (FT.)	38 [5]	NONE	33'-11"

NOTE FOR TABLE:

[1] IN THE RM-1 DISTRICT, A LOT CONTAINING AT LEAST 1,920 SQ. FT. OF LAND MAY BE DIVIDED INTO LOTS WITH A MINIMUM LOT SIZE OF 960 SQ. FT., PROVIDED THAT:

(A) AT LEAST 75% OF LOTS ADJACENT TO THE LOT TO BE DIVIDED ARE 1,000 SQ. FT. OR LESS; AND

(B) EACH OF THE LOTS CREATED MEETS THE MINIMUM LOT WIDTH REQUIREMENT OF THE ZONING DISTRICT.

[2] IN THE RM-1 DISTRICT, BUILDINGS ON LOTS LESS THAN 45 FT. IN DEPTH ARE EXEMPT FROM THE MINIMUM OPEN AREA REQUIREMENT.

[5] IF ABUTTING LOTS ON BOTH SIDES OF AN ATTACHED BUILDING CONTAIN ONLY TWO STORIES OF ENCLOSED AREA, STORIES ABOVE THE SECOND STORY OF THE ATTACHED HOUSE SHALL BE SET BACK AN ADDITIONAL EIGHT FT. FROM THE MINIMUM SETBACK SHOWN IN THIS TABLE; EXCEPT THIS REQUIREMENT SHALL NOT APPLY TO CORNER LOTS.

[6] ON ANY GIVEN STREET, THE DISTANCE BETWEEN THE FRONT FACADE AND THE FRONT LOT LINE SHALL BE NO GREATER THAN THE DISTANCE BETWEEN THE FRONT FACADE AND THE FRONT LOT LINE OF THE PRINCIPAL BUILDING ON THE IMMEDIATELY ADJACENT LOT ON SUCH STREET WITH THE GREATER DISTANCE BETWEEN ITS FRONT FACADE AND ITS FRONT LOT LINE; AND SHALL BE NO LESS THAN THE DISTANCE BETWEEN THE FRONT FACADE AND THE FRONT LOT LINE OF THE PRINCIPAL BUILDING ON THE IMMEDIATELY ADJACENT LOT ON SUCH STREET WITH THE LESSER DISTANCE BETWEEN ITS FRONT FACADE AND ITS FRONT LOT LINE.

(B) ON ANY GIVEN STREET, IF THERE IS NO PRINCIPAL BUILDING ON AN IMMEDIATELY ADJACENT LOT, THEN THE FRONT SETBACK SHALL MATCH THE FRONT SETBACK ON THE CLOSEST BUILDING TO THE SUBJECT PROPERTY THAT IS ON THE SAME BLOCKFACE. IF THERE IS NO SUCH BUILDING, THE MINIMUM FRONT SETBACK SHALL BE ZERO.

(C) IF THE PROPERTY IS BOUNDED BY TWO OF MORE STREETS, ONLY THE PRIMARY FRONTAGE AS DESIGNATED IN

§ 14-701(1)(D)(4) (PRIMARY FRONTAGE) SHALL BE SUBJECT TO THE FRONT SETBACK REQUIREMENTS OF (A) AND (B) ABOVE.

[9] IN THE RM-1 DISTRICT, LOTS LESS THAN 45 FT. IN DEPTH SHALL BE EXEMPT FROM REAR YARD AREA REQUIREMENTS BUT SHALL PROVIDE A MINIMUM REAR YARD DEPTH OF 7 FT.

STAMP AREA

In accordance with the terms and provisions of Section 14-701 (1) (d) and 14-803 (1) (c) of the Philadelphia Code pertaining to Commission selection of

REAR LOT LINE, PRIMARY FRONTAGE, AND REAR STREET

REAR LOT LINE OPPOSITE: **YORK ST**

PRIMARY FRONTAGE: **YORK ST**

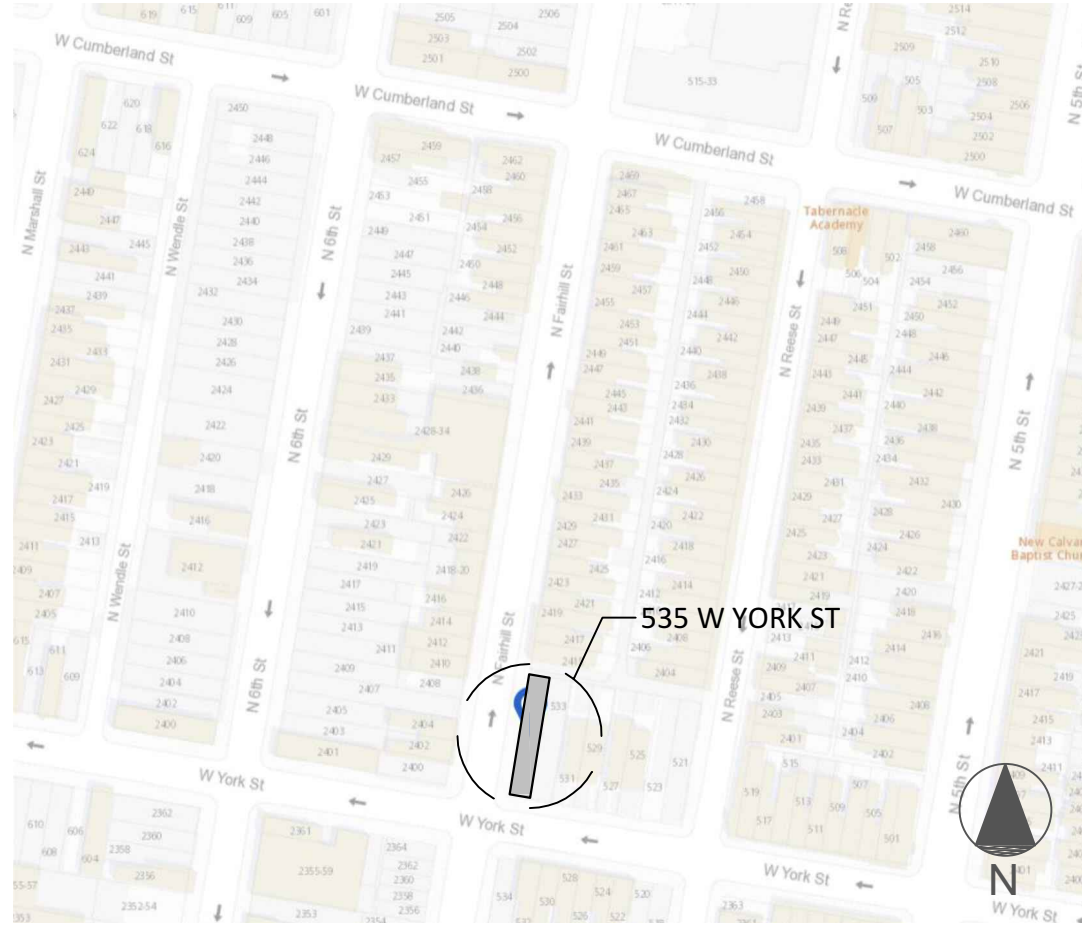
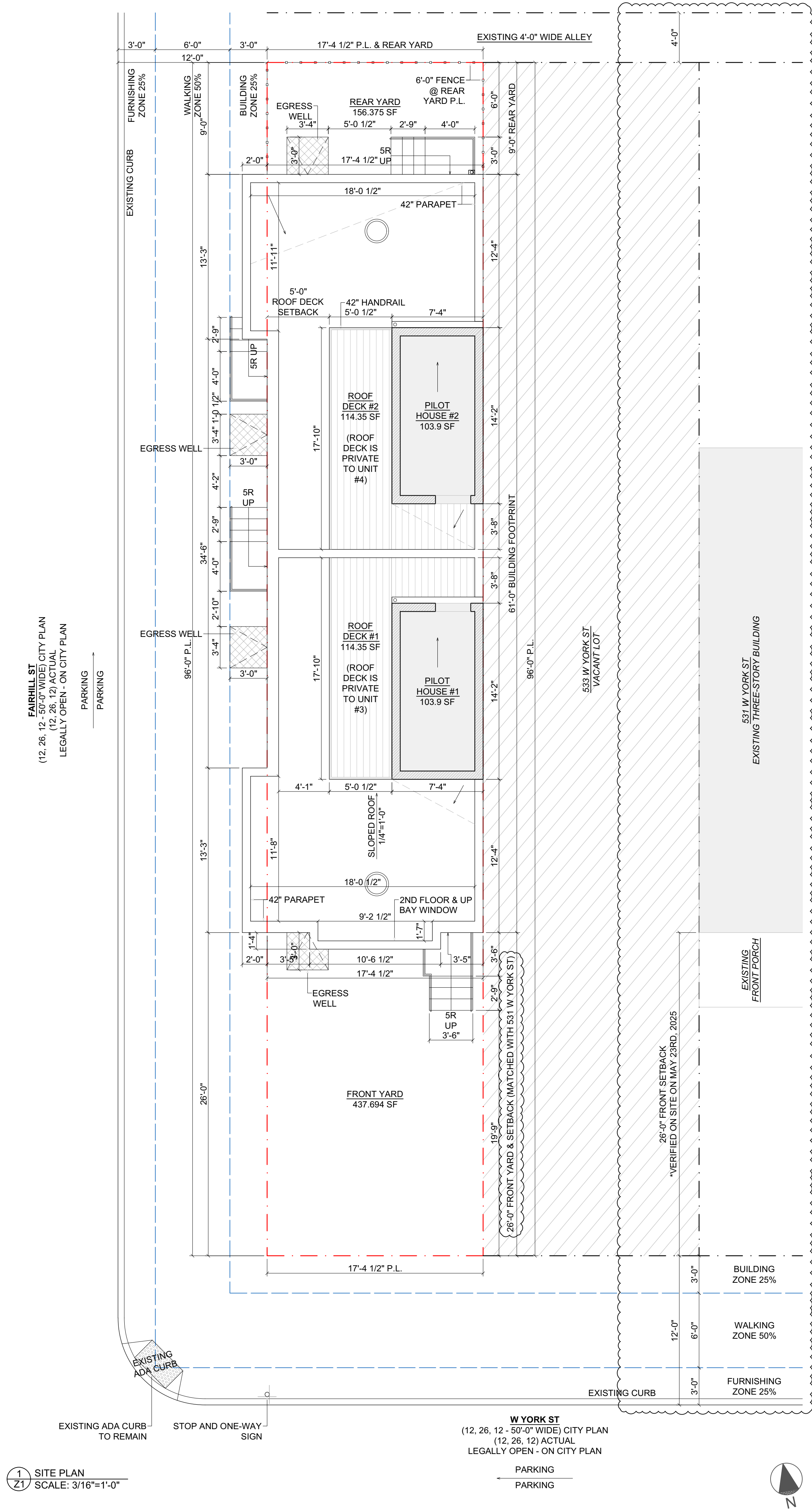
DEPARTMENT OF
STREETS & INSPECTIONS

APPROVED
FOR ZONING ONLY

Approved Electronically By: BENJAMIN SCHMIDT
November 12, 2025

Ledger No.: **E-7178**

Philadelphia City Planning Commission



0 SITE MAP
21 SCALE: N.T.S.



0 SITE PHOTOS
21 SCALE: N.T.S.

NOTE:

- EXISTING CORNER CURB RAMP IS UPGRADED TO CURRENT ADA STANDARDS
- PROTECT AND MAINTAIN NEWLY CONSTRUCTED EXISTING ADA CURB RAMP

THROUGHOUT CONSTRUCTION. IF THE NEWLY CONSTRUCTED EXISTING ADA CURB RAMP ARE DAMAGED IN ANY WAY DURING CONSTRUCTION, THEN THE DEVELOPER/CONTRACTOR/OWNER MUST RECONSTRUCT ALL DAMAGED COMPONENTS ACCORDING TO THE ORIGINAL DESIGN OR ADA STANDARDS AND SUBMIT COMPLETED AS-BUILT PENNDOT CS-4401 FORMS TO THE PHILADELPHIA STREETS DEPARTMENT ADA UNIT WITHIN 30 CALENDAR DAYS OF FINISHING CONSTRUCTION, FOR ALL DAMAGED/RECONSTRUCTED RAMP.

SEAL

REVISION

DATE

05/27/2025 1ST SUBMISSION

08/15/2025 1ST REVISION

09/01/2025 2ND REVISION

GENERAL NOTE

THIS DOCUMENT IS FOR GRAPHIC PURPOSES ONLY. IT IS NOT A CONTRACT. CONTRACTORS, ARCHITECTS, ENGINEERS, AND OTHER TRADES SHALL BE RESPONSIBLE FOR CHECKING AND VERIFYING ALL PRESENT AND EXISTING CONDITIONS, DIMENSIONS, ETC. BEFORE PROCEEDING WITH THE WORK.

FOR PERMIT ONLY

NOT FOR CONSTRUCTION

DRAWN BY: EP

CHECKED BY: CM

SIGNATURE

JT RAN

EXPEDITING

1105 RIDGE AVENUE
PHILADELPHIA, PA 19123
EMAIL: JTRANEXPEDITING@GMAIL.COM
TEL: (267) 808-8020

PROJECT DESCRIPTION

NEW (3) THREE STORY MULTI-FAMILY DWELLING

LOCATION

535 W YORK ST PHILADELPHIA, PA 19133

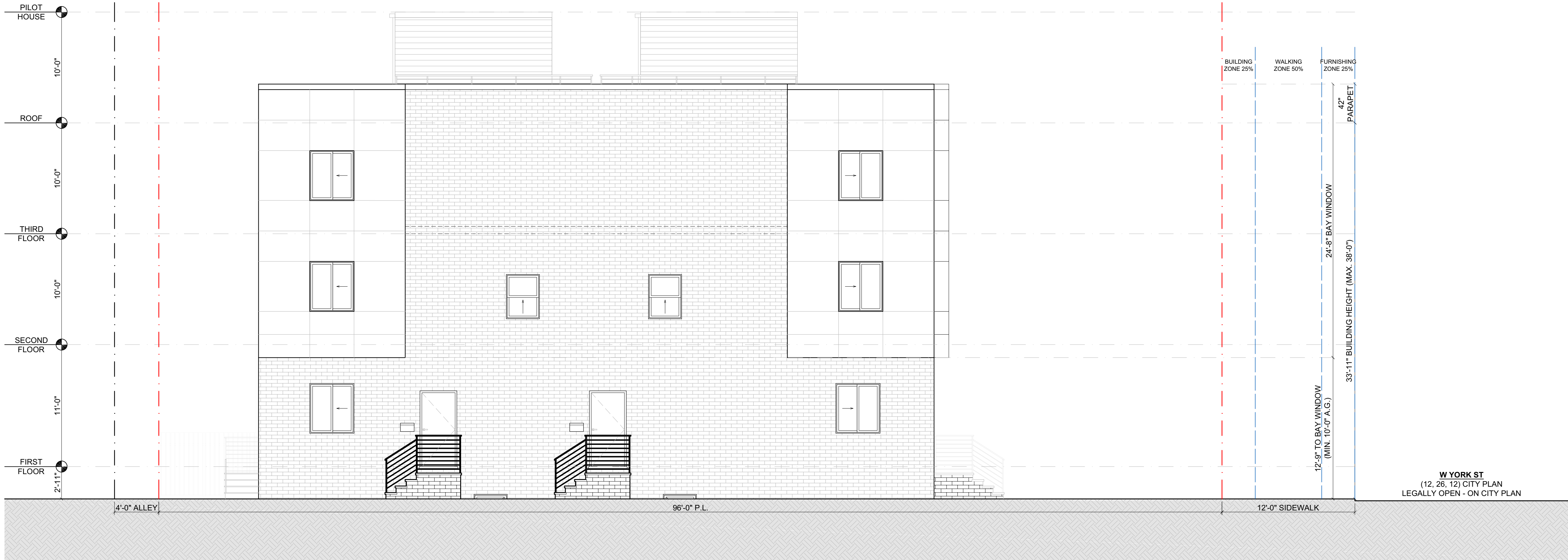
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ZONING

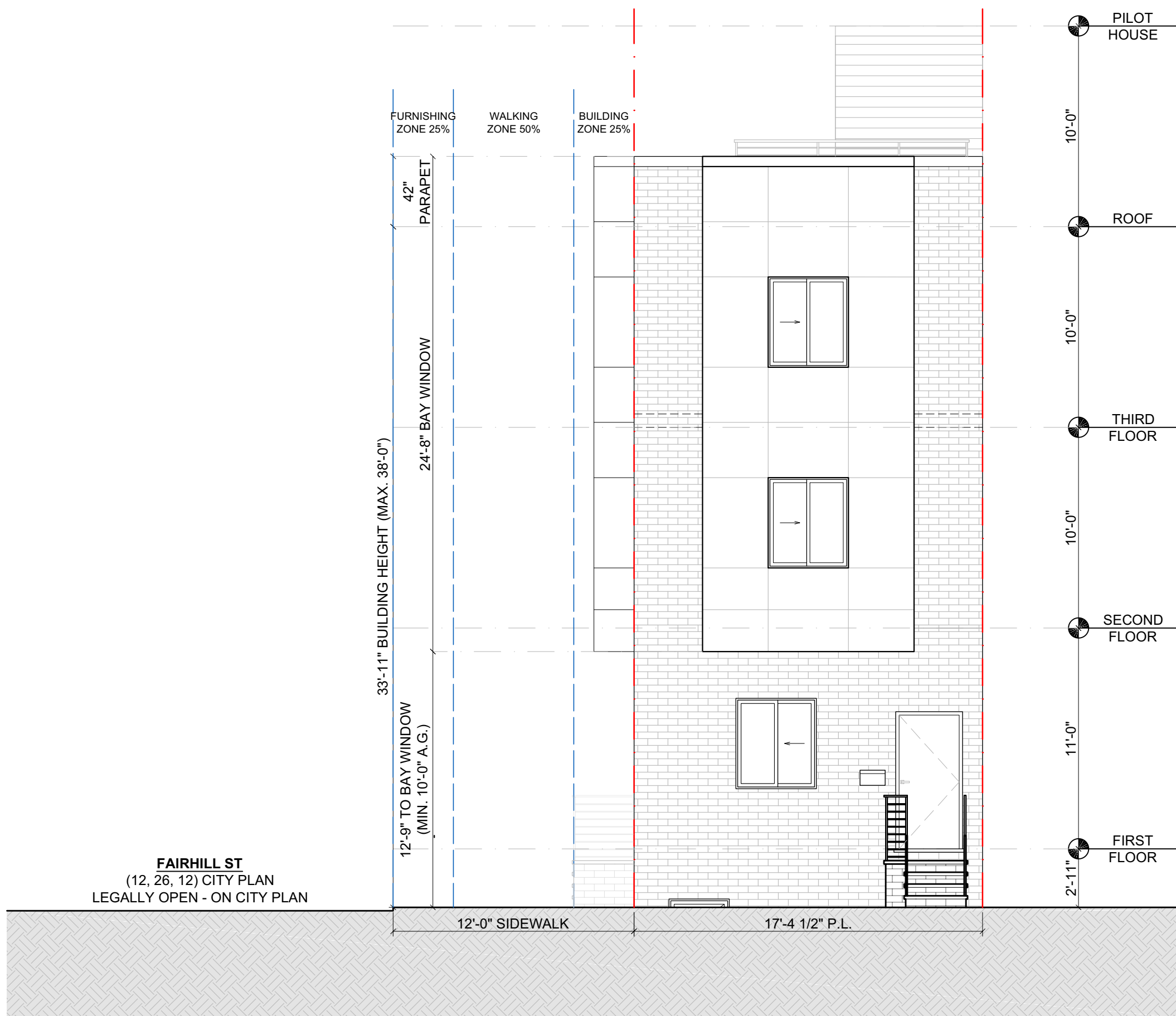
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Z1

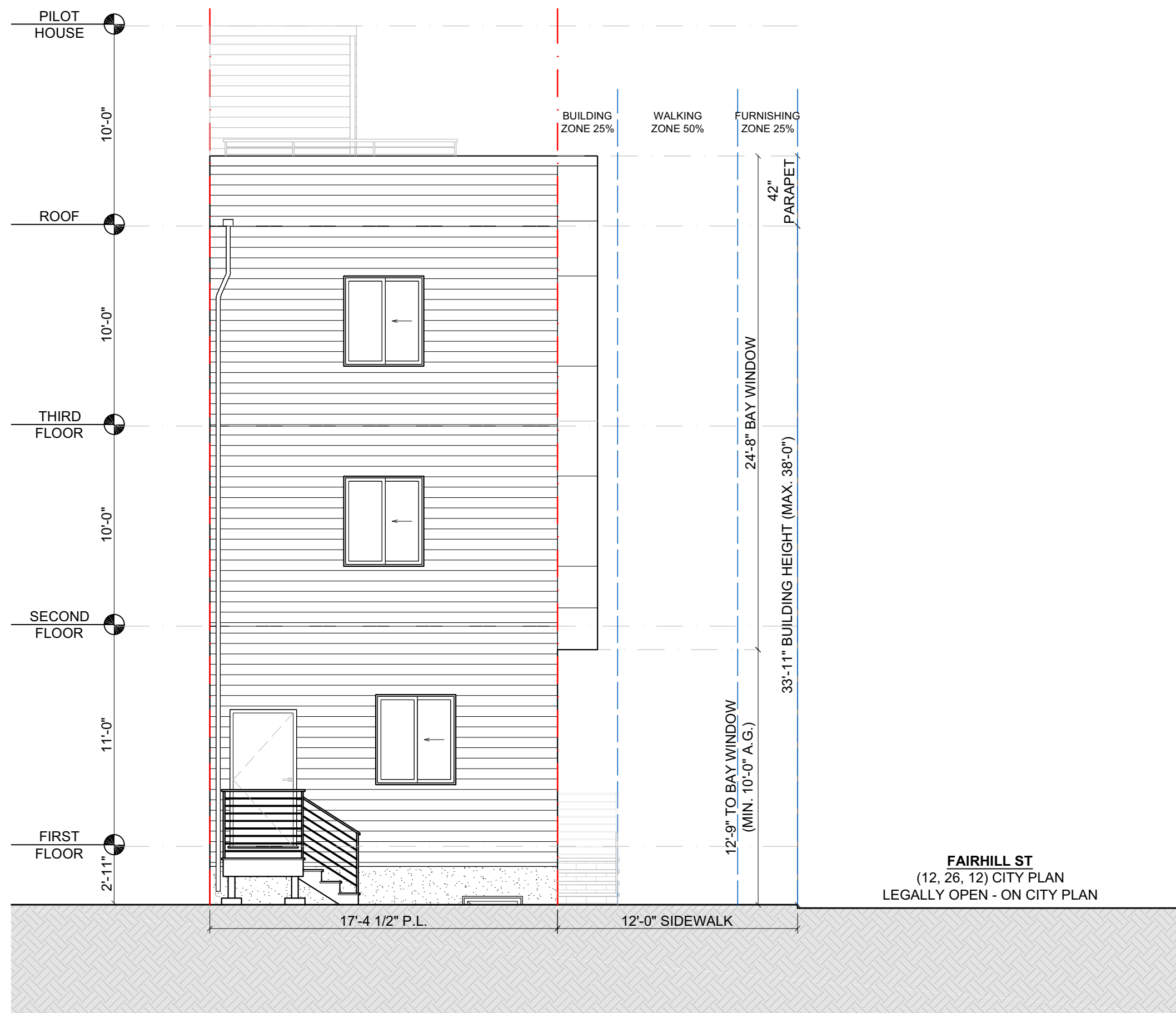
SCALE: AS NOTED



1 FRONT ELEVATION (FAIRHILL ST)
Z2 SCALE: 3/16"=1'-0"



2 FRONT ELEVATION (W YORK ST)
Z2 SCALE: 3/16"=1'-0"



3 REAR ELEVATION
Z2 SCALE: 3/16"=1'-0"

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NEW (3)THREE STORY
MULTI-FAMILY DWELLING

LOCATION
535 W YORK ST
PHILADELPHIA, PA 19133

DRAWING TITLE
ZONING

DRAWING NO.

Z2

SCALE: AS NOTED

SEAL

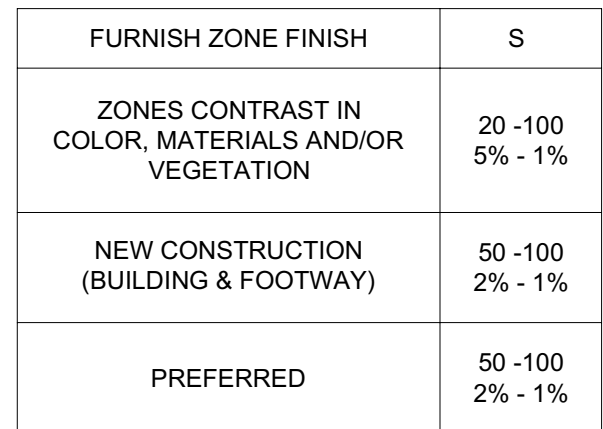
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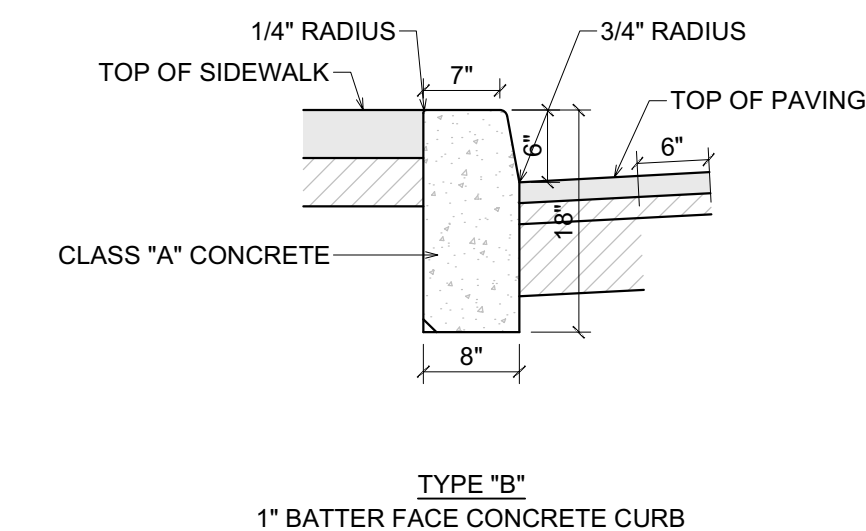
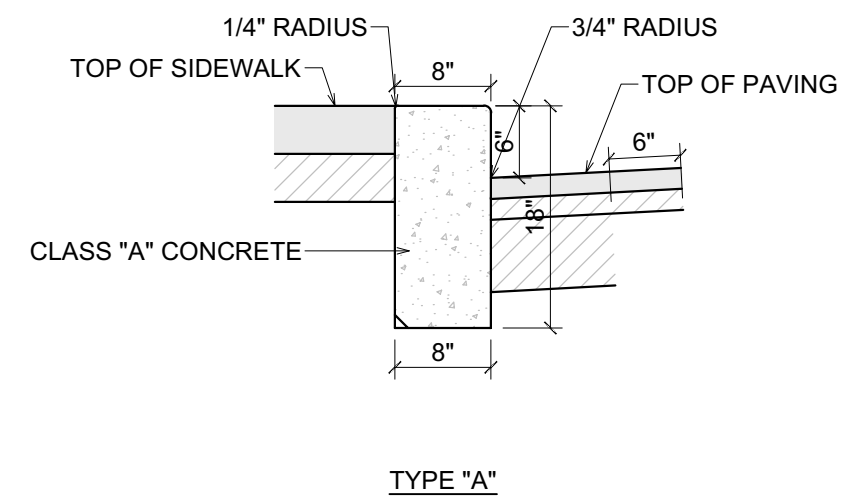
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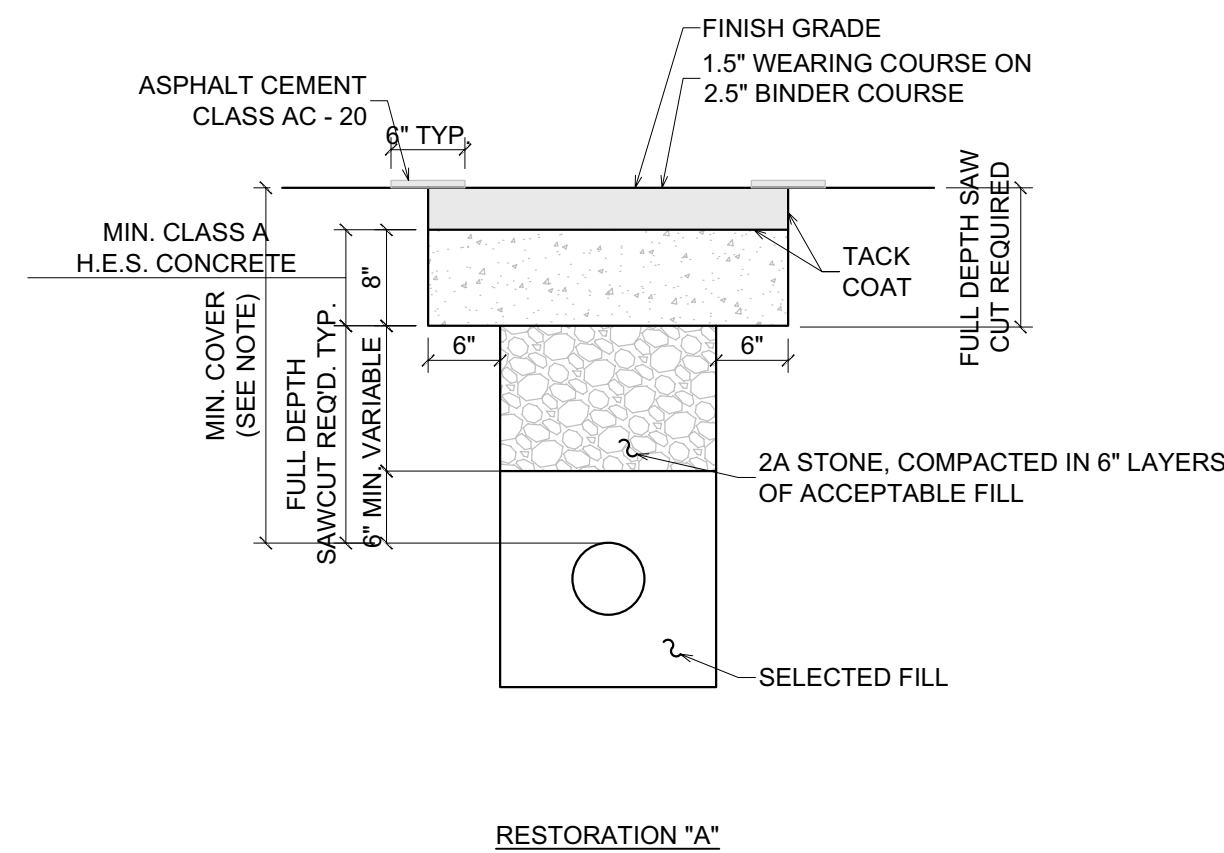


NOTES:

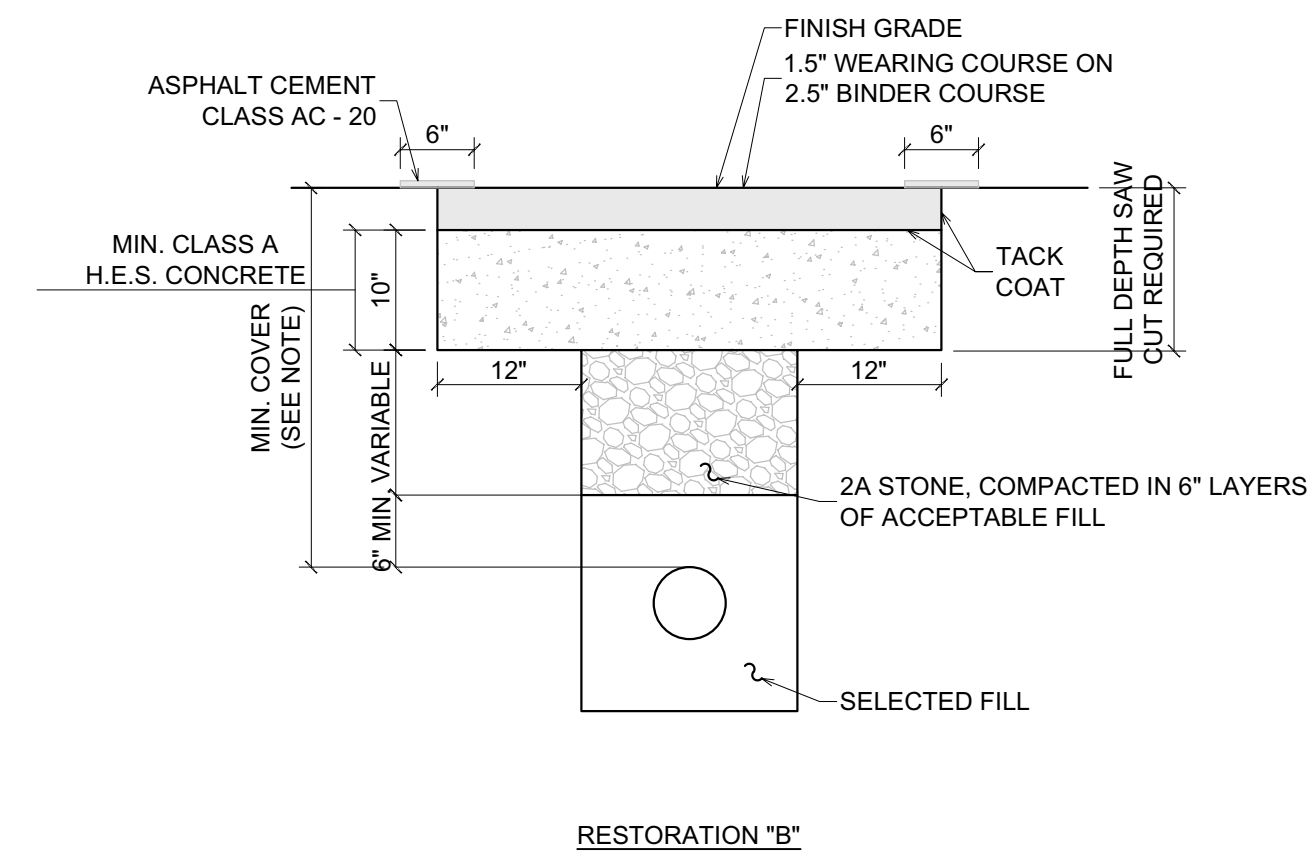
- BUILDING ZONE MODIFICATIONS CANNOT CONFLICT WITH CURRENT BUILDING CODES AND THEREFORE ONLY APPLY WHERE ENCROACHMENTS RESTRICT PEDESTRIAN FLOW, AND DOORS ARE NOT PRESENT AT THE HOUSEZONE.



NOTES:
1. CONSTRUCT SIDEWALK BACK TO FIRST JOINT.
2. REFER TO STANDARD DETAIL SC0101 FOR SUB-BASE REQUIREMENT.



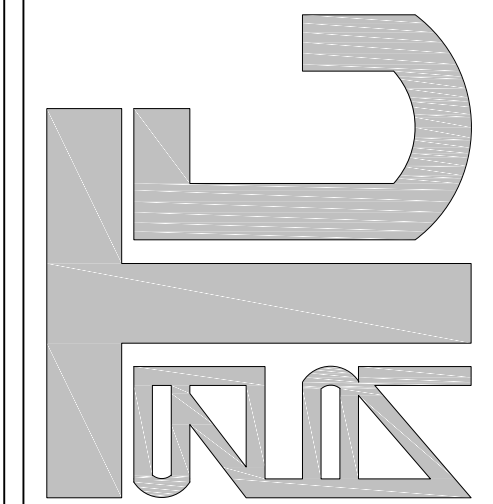
- MINIMUM COVER: NO STRUCTURE SHALL BE PLACED LESS THAN 24 INCHES BELOW THE CARTWAY OR 15 INCHES BELOW THE FOOTWAY.
- REPLACE ALL DISTURBED PAVEMENT MARKINGS WITH THERMOPLASTIC TAPE.
- PAVEMENT MARKINGS MUST BE RESTORED WITHIN 7 DAYS OF TRENCH RESTORATION.
- ALL RESTORATION BY PERMITTEE TO BE IN ACCORDANCE WITH THE LATEST STREETS DEPARTMENT STANDARDS.
- RESTORATION "B" SHALL BE USED FOR ALL STREETS WITHIN CENTER CITY AND ALL ARTERIAL STREETS OUTSIDE CENTER CITY. ELSEWHERE, RESTORATION "A" SHALL BE USED. HISTORIC STREETS SHALL BE RESTORED IN KIND.



GENERAL NOTE	DATE	REVISION
THIS DOCUMENT IS FOR THE ARCHITECT, ENGINEER, CONSULTANTS, DESIGNERS, CONTRACTORS AND OTHER TRADES SHALL BE RESPONSIBLE FOR CHECKING AND VERIFYING ALL PRESENT AND EXISTING CONDITIONS, DIMENSIONS, ETC. BEFORE PROCEEDING WITH THE WORK.	09/01/2025	2ND REVISION
FOR PERMIT ONLY	DRAWN BY: EP CHECKED BY: CM	

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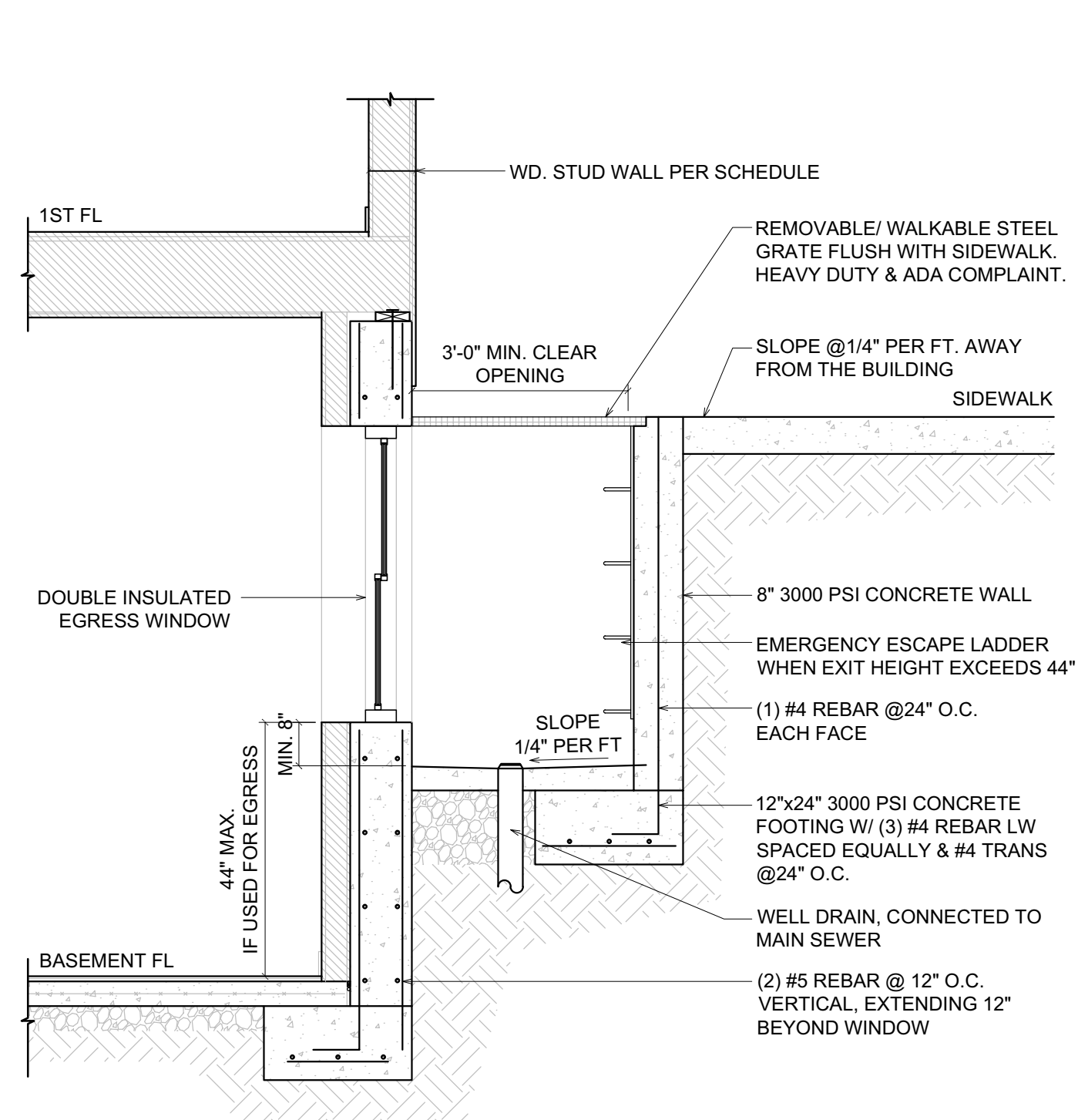
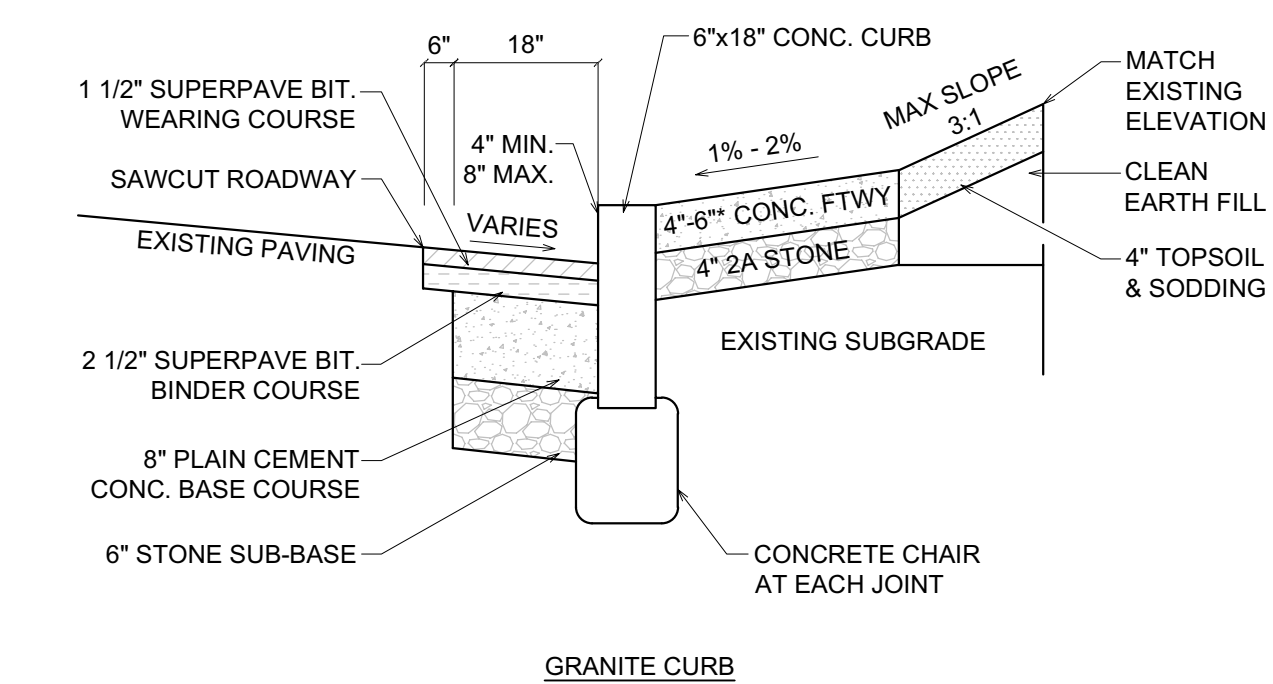
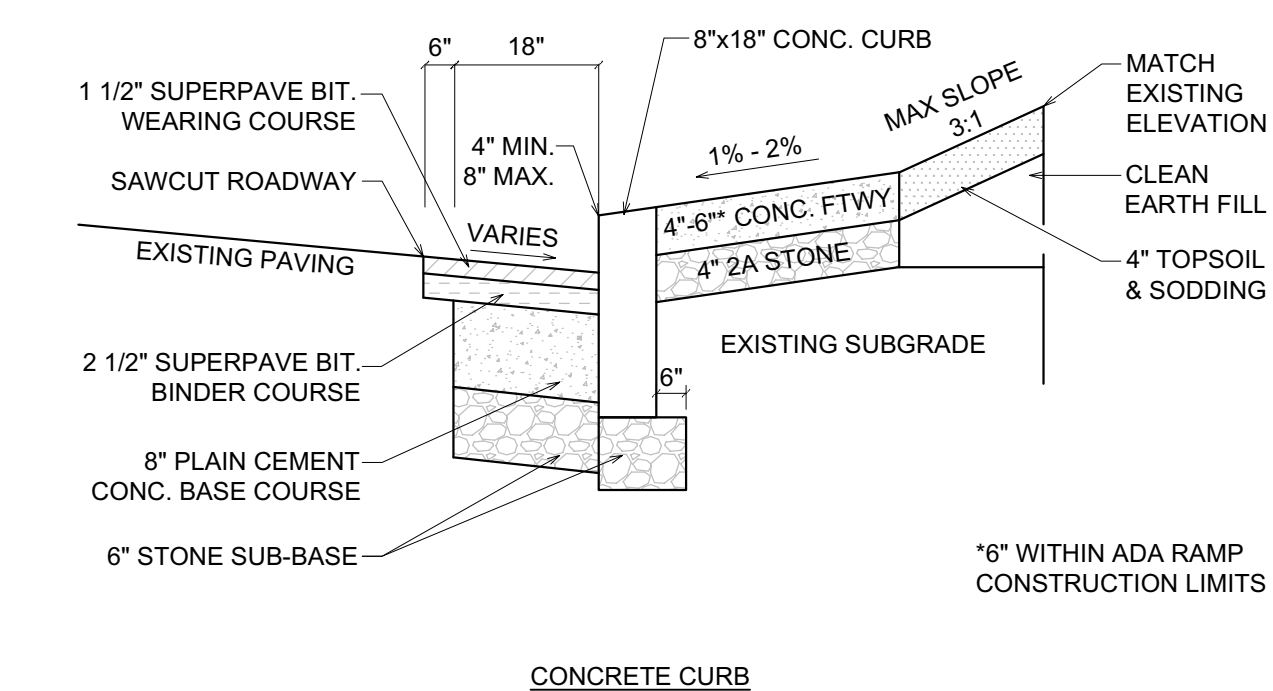
DRAWING TITLE

ZONING

DRAWING NO.

Z3

SCALE: AS NOTED



STAMP AREA	
DEPARTMENT OF LICENSES & INSPECTIONS APPROVED FOR ZONING ONLY 09/16/23 IF YOUR PLANS CONTAIN ANY OMISSION, ERROR OR OMISSION FROM THESE APPROVALS PLEASE, YOU OBTAIN THE APPROVAL OF THE DEPARTMENT OF LICENSES & INSPECTIONS. <i>Applied by L&I: Reseba Babu</i>	

Zoning Permit

Permit Number ZP-2025-006473

LOCATION OF WORK 535 W YORK ST, Philadelphia, PA 19133-2522	PERMIT FEE \$821.00	DATE ISSUED 9/16/2025
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS RM1	

PERMIT HOLDER MEDINA ELOINA	535 W YORK ST PHILADELPHIA PA 19133-2522
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OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT FOR THE ERECTION OF AN ATTACHED BUILDING WITH ROOF DECK AND TWO (2) ROOF DECK ACCESS STRUCTURES. SIZE AND LOCATION AS SHOWN ON PLANS.

APPROVED USE(S) Residential - Household Living - Multi-Family
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THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
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CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2025-006473

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

535 W YORK ST Philadelphia, PA 19133-2522

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

MULTI-FAMILY (4 UNITS) HOUSEHOLD LIVING.

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement available from Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of building permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of building permit issuance.