

Notice of: ☒ **Refusal** ☐ **Referral**

Application Number: ZP-2023-005048	Zoning District(s): RSA-5 with overlay /MIN Mixed Income Neighborhoods	Date of Refusal: 6/9/2023
Address/Location: 2219-23 N 2ND ST, Philadelphia, PA 19133-3398 Parcel (PWD Record)		Page Number Page 1 of 1
Applicant Name: Logan Dry DBA: KCA Design Associates	Applicant Address: 6525 Tulip Street Philadelphia, PA 19135 USA	Civic Design Review? N

Application for:

FOR THE ERECTION OF A DETACHED STRUCTURE WITH TWO (2) RECESSED BALCONIES. FOR MULTI-FAMILY HOUSEHOLD LIVING FOR SEVEN (7) DWELLING UNITS. SIZE AND LOCATION AS SHOWN ON APPLICATION/PLAN.

The permit for the above location cannot be issued because the proposal does not comply with the following provisions of the Philadelphia Zoning Code. (Codes can be accessed at www.phila.gov.)

<u>Code Section(s):</u>	<u>Code Section Title(s):</u>	<u>Reason for Refusal:</u>
Table 14-602-1	Uses Allowed in Residential Districts	Whereas Multi-Family Household Living is expressly prohibited in the RSA-5 Zoning District and seven (7) dwelling units are proposed.

ONE (1) USE REFUSAL / REFERRAL

Fee to File Appeal: \$300

NOTES TO THE ZBA:

NA

Parcel Owner:

GEM 2219 N 2nd street LLC



Willow Jessop
PLANS EXAMINER

6/9/2023
DATE SIGNED

Notice to Applicant: An appeal from this decision may be made to the Zoning Board of Adjustment, One Parkway Building, 1515 Arch St., 18th Fl., Phila., PA 19102 within thirty (30) days of date of Refusal / Referral. Please see appeal instructions for more information.

ZONING CODE FOR THE CITY OF PHILADELPHIA RSA-5 DISTRICT SUMMARY FOR PROPERTY 2219 N 2ND STREET		
APPLICABLE REGULATIONS	PERMITTED / REQUIRED	PROPOSED
PERMITTED USE BY RIGHT	RESIDENTIAL, SINGLE	MULTI-FAMILY (7 UNITS)
LOT WIDTH	16'-0"	54'-0"
LOT AREA	1440	3286 SQ. FT. = 100% Total Lot Area
OPEN AREA	NOT LESS THAN 25%	1075 SQ. FT. = 32.8% Open
OCCUPIED AREA	BUILDING MAY OCCUPY NO MORE THAN 75%	2211 SQ. FT. = 67.2% Covered
FRONT YARD SETBACK	0'-0"	0'-0"
SIDE YARD SETBACK	5'-0" IF USED	5'-0" & 5'-6"
REAR YARD SETBACK	9'-0"	9'-0" (SMALLEST DIMENSION)
HEIGHT REGULATIONS	38'-0" MAX.	33'-3" (38'-0" MAX.)



ZONING MAP - RSA-5 ZONING

PROJECT ADDRESS:
2219 N 2ND STREET



PHOTO 1

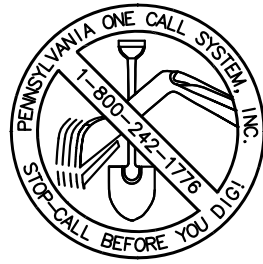


PHOTO 2

PROPOSED MULTI-FAMILY (7 UNITS) RESIDENCES

PROPOSED 3- STORY MULTI-FAMILY RESIDENCE (7 UNITS) w/PARTIAL CELLAR

2219 N 2ND STREET, PHILADELPHIA, PENNSYLVANIA



THE UNDERGROUND UTILITY LINE PROTECTION LAW
(ACT 287 OF 1974, AS AMENDED BY ACT 187 OF 1996
AND ACT 159 IN JANUARY 2005)

SITE SERIAL NO. 20231282843 (ward 19)

LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT 287 OF 1974, AS AMENDED BY ACT 187 OF 1996 AND ACT 159 IN JANUARY 2005, CONTRACTORS MUST VERIFY LOCATIONS OF UNDERGROUND UTILITIES BY NOTIFYING FACILITY OWNERS THROUGH THE ONE-CALL SERVICE 24-1-1 OR LESS THAN 3, NOR MORE THAN 10 DAYS PRIOR TO EXCAVATION OR DEMOLITION WORK.

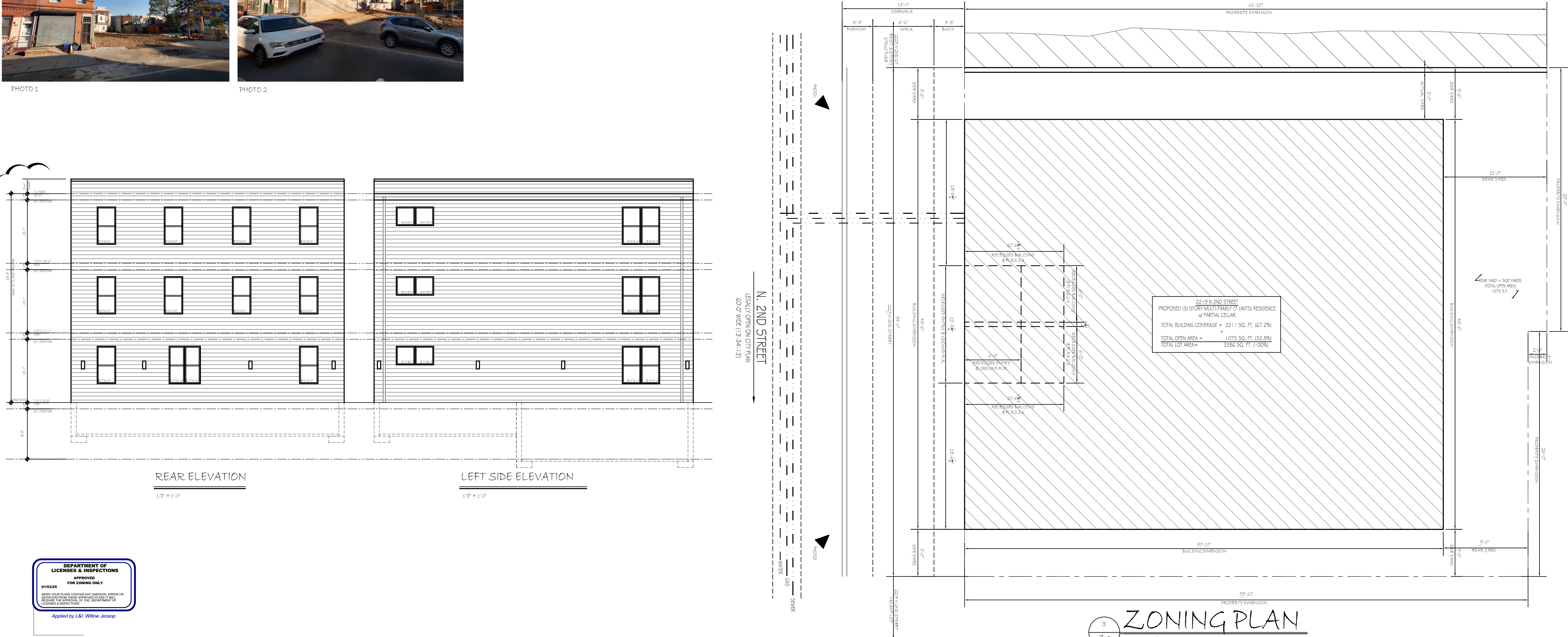


FRONT ELEVATION

1/8" = 1'-0"

RIGHT SIDE ELEVATION

1/8" = 1'-0"



REAR ELEVATION

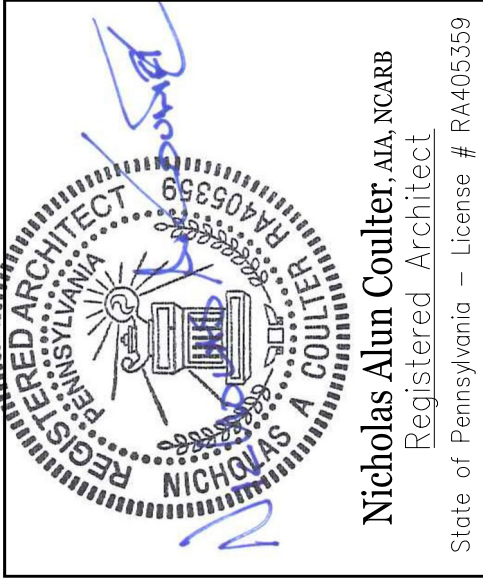
1/8" = 1'-0"

LEFT SIDE ELEVATION

1/8" = 1'-0"



Applied by L&I: Willow Jessop



PROJECT
PROPOSED MULTI-FAMILY RESIDENCE
2219 N 2ND STREET
PHILADELPHIA, PENNSYLVANIA

DWG. TITLE
ZONING PLAN & ELEVATIONS

REVISIONS:
5.25.23 RFI

DRAWN BY: LD
CHECKED BY: HK
DATE: 2/6/2023
SCALE: AS NOTED

JOB NO: 2ND ST
FILE: 2ND ST

Z-1

Zoning Permit

Permit Number ZP-2023-005048

LOCATION OF WORK 2219-23 N 2ND ST, Philadelphia, PA 19133-3398	PERMIT FEE \$1,804.00	DATE ISSUED 10/2/2024
	ZBA CALENDAR MI-2023-003492	ZBA DECISION DATE 10/2/2024
	ZONING DISTRICTS RSA5	

PERMIT HOLDER GEM 2219 N 2nd street LLC	141 Gwyn Lynn Drive Ivyland , Pennsylvania 18974
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OWNER CONTACT 1 Jeffrey Marmur	141 Gwyn Lynn Drive Ivyland PA
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OWNER CONTACT 2	
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TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT FOR THE ERECTION OF A DETACHED STRUCTURE WITH TWO (2) RECESSED BALCONIES. FOR MULTI-FAMILY HOUSEHOLD LIVING FOR SEVEN (7) DWELLING UNITS. SIZE AND LOCATION AS SHOWN ON APPLICATION/PLAN
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APPROVED USE(S) Residential - Household Living - Multi-Family
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THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
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CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2023-005048

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

2219-23 N 2ND ST, Philadelphia, PA 19133-3398

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.