

Zoning Permit

Permit Number ZP-2022-013866

LOCATION OF WORK 2008 MASCHER ST, Philadelphia, PA 19122-1726	PERMIT FEE \$772.00	DATE ISSUED 1/17/2023
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS RM1	

PERMIT HOLDER Mascher St LLC	123 S Broad St #1600 Philadelphia, Pennsylvania 19109
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OWNER CONTACT 1 Michael Lutes	123 S Broad St #1600 19109
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OWNER CONTACT 2	
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TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT FOR THE COMPLETE DEMOLITION OF THE EXISTING ATTACHED STRUCTURE AND THE ERECTION OF AN ATTACHED STRUCTURE WITH ROOF DECK AND ROOF DECK ACCESS STRUCTURE. SIZE AND LOCATION AS SHOWN IN APPLICATION/PLANS. AMENDMENT APPROVED AS OF 1/25/23:
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APPROVED USE(S) Residential - Household Living - Multi-Family

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
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CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2022-013866

FOR THE MODIFICATION OF THE BUILDING FOOTPRINT. SIZE AND LOCATION AS SHOWN IN AMENDED PLANS.

AMENDMENT APPROVED AS OF 7/6/23:

FOR THE MODIFICATION OF THE BUILDING FOOTPRINT AND THE ROOF DECK ACCESS STRUCTURE SIZE. SIZE AND LOCATION AS SHOWN IN AMENDED PLANS.



APPROVED USE(S)

Residential - Household Living - Multi-Family

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)



CONDITIONS AND LIMITATIONS:

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ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

2008 MASCHER ST, Philadelphia, PA 19122-1726

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

CONTAINING FOUR (4) DWELLING UNITS

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.

New Multi-Family 2008 Mascher St. Philadelphia, PA

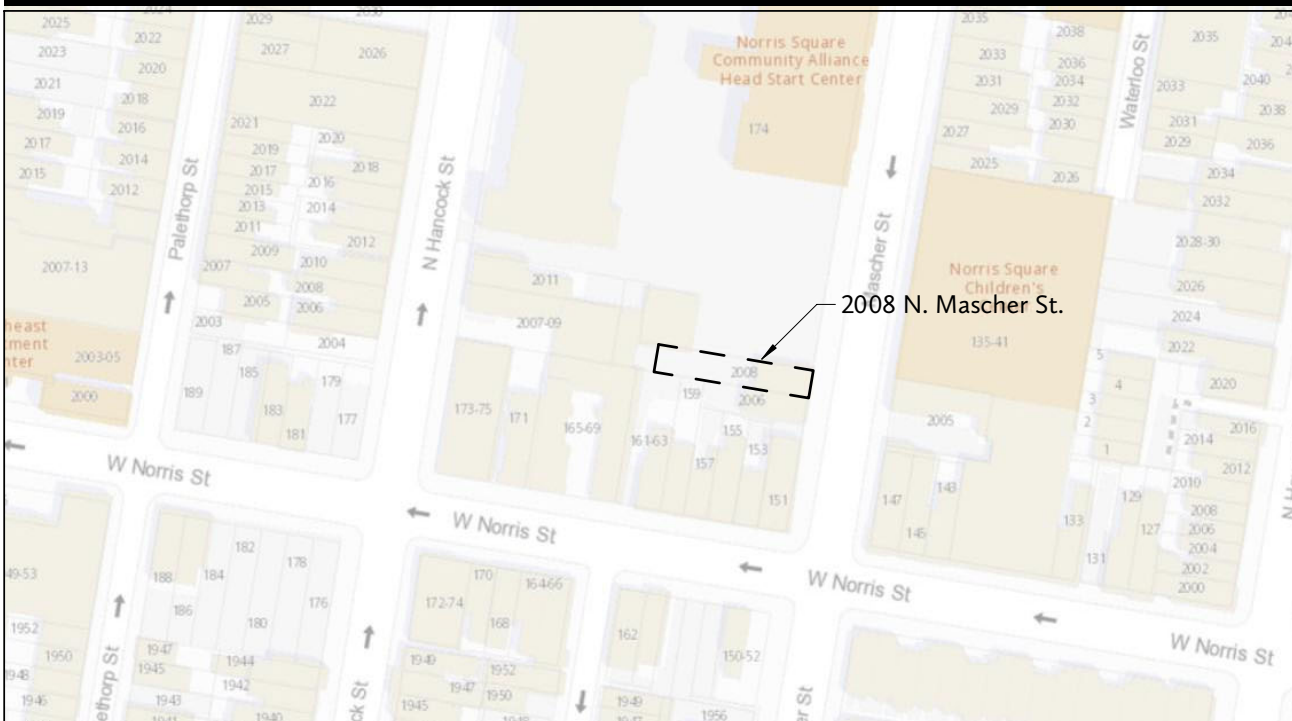
PROJECT SUMMARY: 2008 MASCHER ST.

For the erection of a new three story, wood-framed, multi-family dwelling with roof deck accessible via pilot house stair, per plans. New concrete foundation to be poured at a depth as shown on building documents. Provide shoring during excavation per structural plans.

Zoning: RM-1 **Lot Area:** 1758.75 SF (0.040 Acre) **Use:** Multi-Family Dwelling

DIMENSIONAL STANDARDS		
	REQUIRED/ALLOWED	PROPOSED
Lot Area	1758.75 SF (100%)	1758.75 SF (No Change)
Open Area	439.68 SF (25%)	638.11 SF (36.28%)
Building Area	1319.07 SF (75%)	1120.64 SF (63.72%)
Rear Yard	9'-0" Min.	29'-1"
Height	38' Max.	33'-6"
Parking	No	No

LOCATION MAP

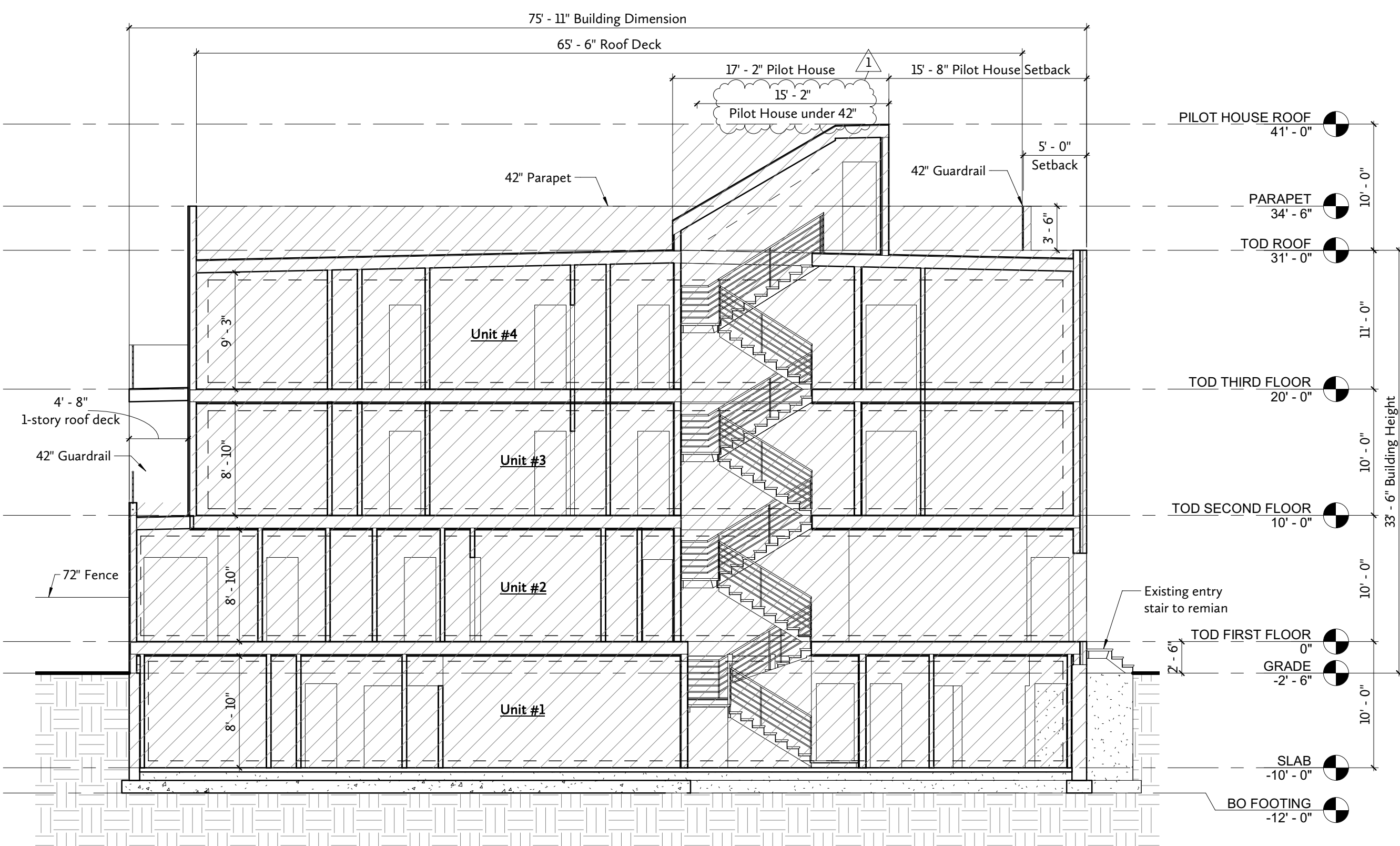


SITE EXCAVATION

PA One call system must be notified minimum of 72 hours prior to beginning excavation.

It is the sole responsibility of the General Contractor to contact PA One Call, and Special Inspections engineer(s) prior to, during and upon completion of all excavation and foundation activities.

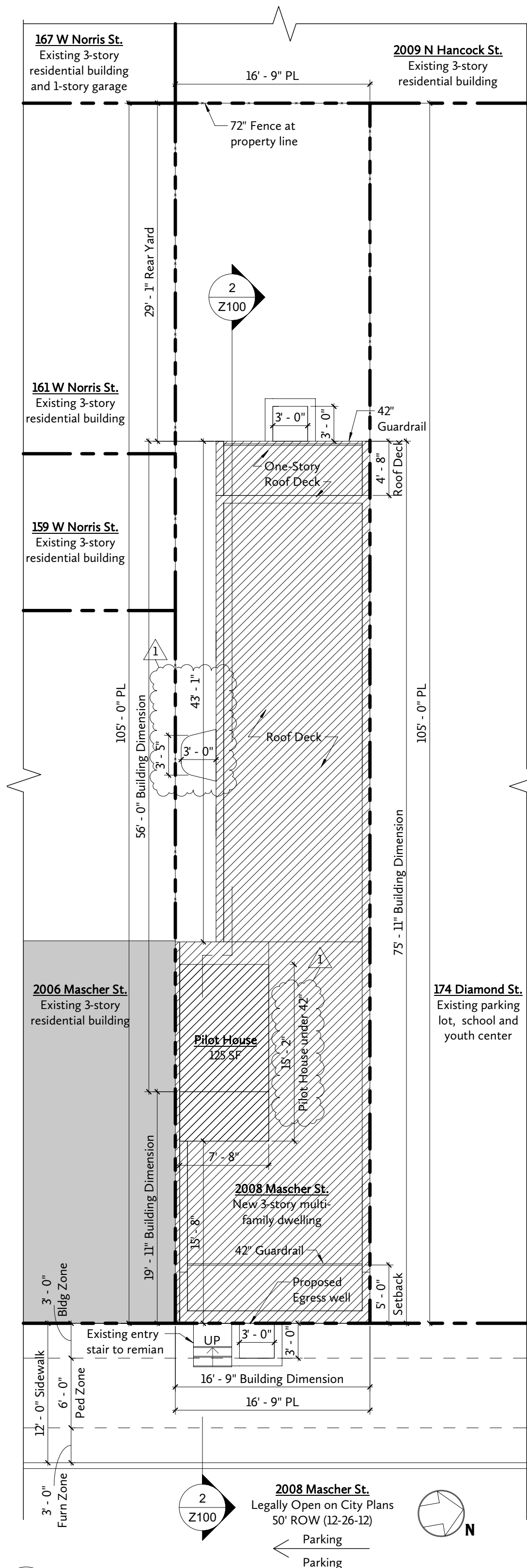
PA ONE-CALL No.: 2022 346 1960 **CONTACT:** 811 / 1800 248 1786



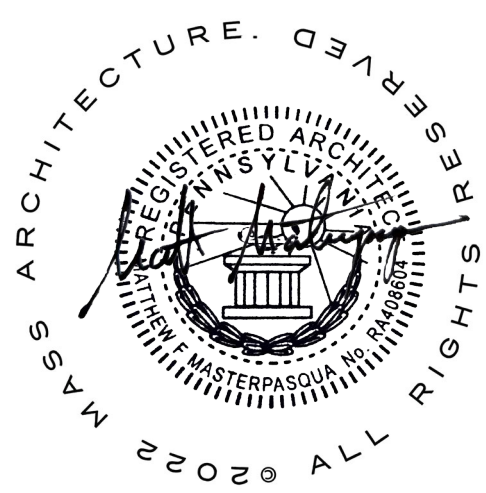
2 ZONING SECTION
Z100 1/8" = 1'-0"



Applied Electronically by L&I User.



1	ZONING PLAN
Z100	1/8" = 1'-0"



3427 D ST #121
PHILADELPHIA
PA 19134

MassArchStudio.com

215.399.0400

PHILPEN
MAS
ARCHITECTURE
STUDIO.LLC

New Multi-Family
2008 Mascher St.
Philadelphia, PA

REVISIONS		
NO	REVISION	DATE
0	2018 PERMIT	12/15/2022
1	Rev 01	12/15/2022

DRAWING TITLE

ZONING

