

Zoning Permit

Permit Number ZP-2024-007566

LOCATION OF WORK 4021 BROWN ST, Philadelphia, PA 19104-4845	PERMIT FEE \$754.00	DATE ISSUED 11/7/2024
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS RM1	

PERMIT HOLDER LOW INCOME RENOV, INC / A PA CORP	34 CYPRESS LN HAVERFORD PA 19041
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OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK New construction, addition, GFA change
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APPROVED DEVELOPMENT FOR THE ERECTION OF AN ATTACHED STRUCTURE WITH TWO (2) ROOF DECKS AND TWO (2) ROOF DECK ACCESS STRUCTURES. SIZE AND LOCATION AS SHOWN ON APPLICATION/PLAN.
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APPROVED USE(S) Residential - Household Living - Multi-Family
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THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
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CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - **30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - **3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - **60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

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ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

4021 BROWN ST Philadelphia, PA 19104-4845

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR FOUR (4) DWELLING UNITS.

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.

PROPERTY ADDRESS	
4021 BROWN STREET	
PHILADELPHIA, PA 19104-4845	
PROJECT DESCRIPTION	
SCOPE OF WORK	NEW (3) THREE STORY BUILDING FOR THE USE OF A MULTI-FAMILY DWELLING WITH FRONT PORCH, BASEMENT, (2) TWO PILOT HOUSES, AND (2) TWO ROOF DECKS. TOTAL FOUR DWELLING UNITS.
OCCUPANCY TYPE	R-2 RESIDENTIAL MULTI-FAMILY DWELLING/ 4 UNITS
CONSTRUCTION TYPE	VB
LOT AREA	1,440 SF

ZONING CODE SUMMARY

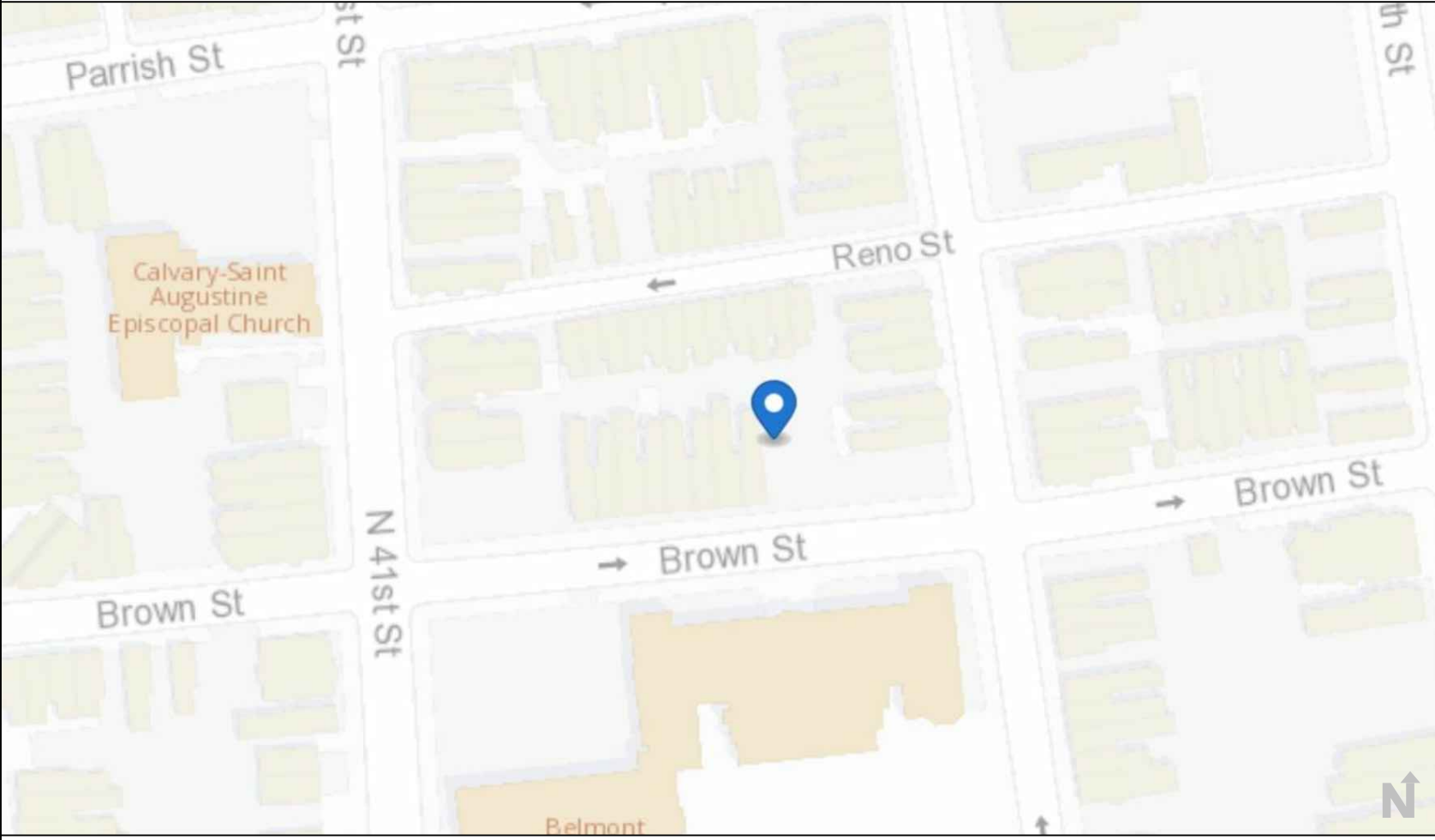
APPLICABLE CODE: PHILADELPHIA ZONING CODE, 12TH EDITION, 2021			
RM-1	REQUIRED	EXISTING	PROPOSED
MIN. LOT WIDTH (FT.)	16	16'-0"	16'-0"
MIN. LOT AREA (SQ. FT.)	1,440 [1]	1,440 SF	1,440 SF
MAX. OCCUPIED AREA (% OF LOT AREA)	INTERMEDIATE 75; CORNER 80 [2]	0%	75% - 1,080 SF
MIN. FRONT SETBACK (FT.)	[5][6]	0'-0"	14'-4"±
MIN. REAR YARD DEPTH (FT.)	9 [9]	0'-0"	12'-7 7/16"
MIN. REAR YARD AREA (SQ. FT.)	144 [9]	0'-0"	201.9 SF
MAX. HEIGHT (FT.)	38 [5]	0'-0"	36'-0"

NOTE FOR TABLE:
[1] IN THE RM-1 DISTRICT, A LOT CONTAINING AT LEAST 1,920 SQ. FT. OF LAND MAY BE DIVIDED INTO LOTS WITH A MINIMUM LOT SIZE OF 960 SQ. FT., PROVIDED THAT:
(A) AT LEAST 75% OF LOTS ADJACENT TO THE LOT TO BE DIVIDED ARE 1,000 SQ. FT. OR LESS; AND
(B) EACH OF THE LOTS CREATED MEETS THE MINIMUM LOT WIDTH REQUIREMENT OF THE ZONING DISTRICT.
[2] IN THE RM-1 DISTRICT, BUILDINGS ON LOTS LESS THAN 45 FT. IN DEPTH ARE EXEMPT FROM THE MINIMUM OPEN AREA REQUIREMENT.
[5] IF ABUTTING LOTS ON BOTH SIDES OF AN ATTACHED BUILDING CONTAIN ONLY TWO STORIES OF ENCLOSED AREA, STORIES ABOVE THE SECOND STORY OF THE ATTACHED HOUSE SHALL BE SET BACK AN ADDITIONAL EIGHT FT. FROM THE MINIMUM SETBACK SHOWN IN THIS TABLE; EXCEPT THIS REQUIREMENT SHALL NOT APPLY TO CORNER LOTS.
[6] IN THE RM-1 DISTRICT, FRONT FACADES SHALL COMPLY WITH THE FOLLOWING:
(A) ON ANY GIVEN STREET, THE DISTANCE BETWEEN THE FRONT FACADE AND THE FRONT LOT LINE SHALL BE NO GREATER THAN THE DISTANCE BETWEEN THE FRONT FACADE AND THE FRONT LOT LINE OF THE PRINCIPAL BUILDING ON THE IMMEDIATELY ADJACENT LOT ON SUCH STREET WITH THE GREATER DISTANCE BETWEEN ITS FRONT FACADE AND ITS FRONT LOT LINE; AND SHALL BE NO LESS THAN THE DISTANCE BETWEEN THE FRONT FACADE AND THE FRONT LOT LINE OF THE PRINCIPAL BUILDING ON THE IMMEDIATELY ADJACENT LOT ON SUCH STREET WITH THE LESSER DISTANCE BETWEEN ITS FRONT FACADE AND ITS FRONT LOT LINE.
(B) ON ANY GIVEN STREET, IF THERE IS NO PRINCIPAL BUILDING ON AN IMMEDIATELY ADJACENT LOT, THEN THE FRONT SETBACK SHALL MATCH THE FRONT SETBACK ON THE CLOSEST BUILDING TO THE SUBJECT PROPERTY THAT IS ON THE SAME BLOCKFACE. IF THERE IS NO SUCH BUILDING, THE MINIMUM FRONT SETBACK SHALL BE ZERO.
(C) IF THE PROPERTY IS BOUNDED BY TWO OF MORE STREETS, ONLY THE PRIMARY FRONTAGE AS DESIGNATED IN § 14-701(1)(D)(4) (PRIMARY FRONTAGE) SHALL BE SUBJECT TO THE FRONT SETBACK REQUIREMENTS OF (A) AND (B) ABOVE.
[9] IN THE RM-1 DISTRICT, LOTS LESS THAN 45 FT. IN DEPTH SHALL BE EXEMPT FROM REAR YARD AREA REQUIREMENTS BUT SHALL PROVIDE A MINIMUM REAR YARD DEPTH OF 7 FT.

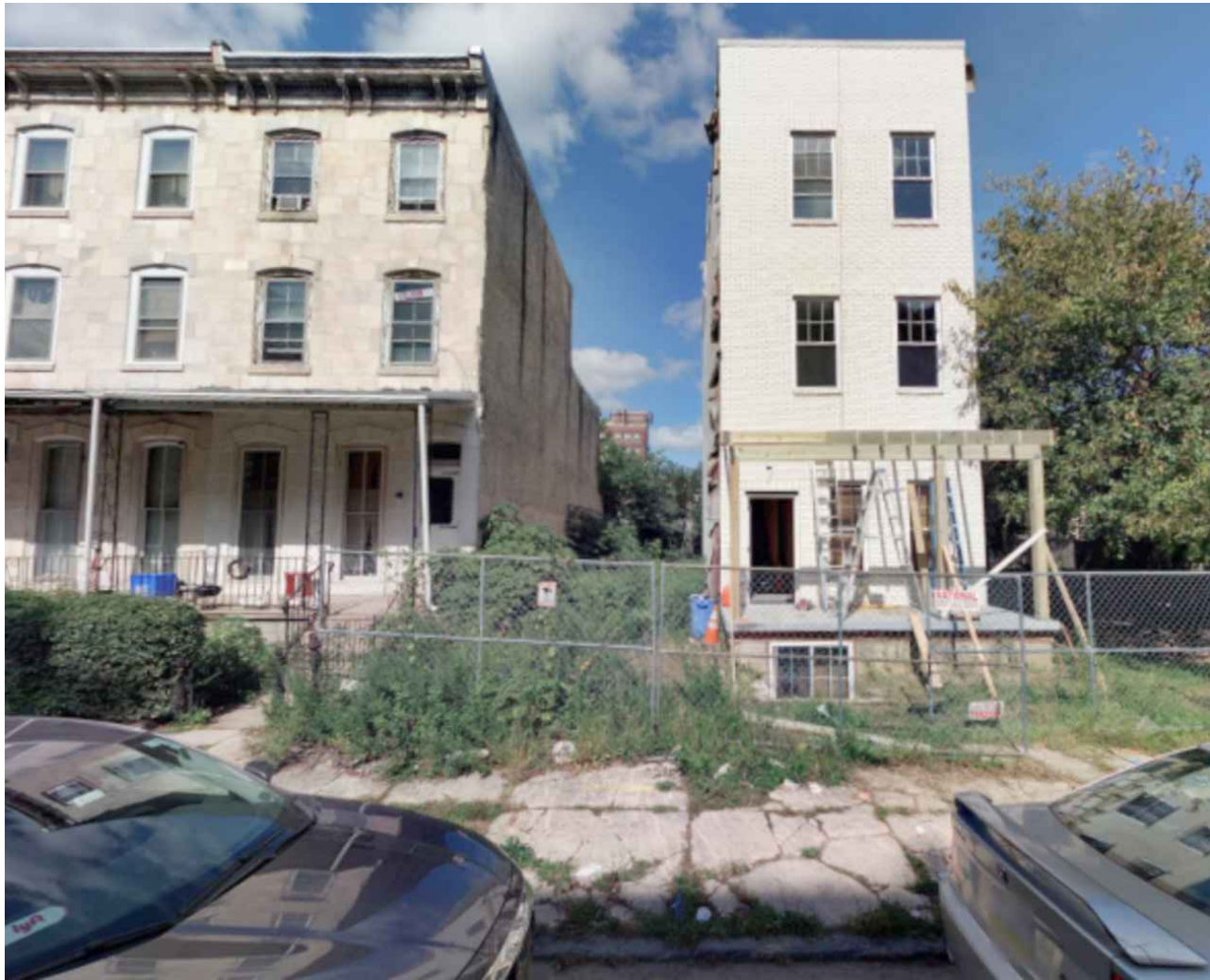
APPLICABLE CODES

2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL RESIDENTIAL CODE
2018 INTERNATIONAL MECHANICAL CODE
2017 NATIONAL ELECTRIC CODE (PER 2018 IBC)
2018 INTERNATIONAL PERFORMANCE BUILDING CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2018 INTERNATIONAL FIRE CODE
2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL PLUMBING CODE
2017 ANSI A117.1

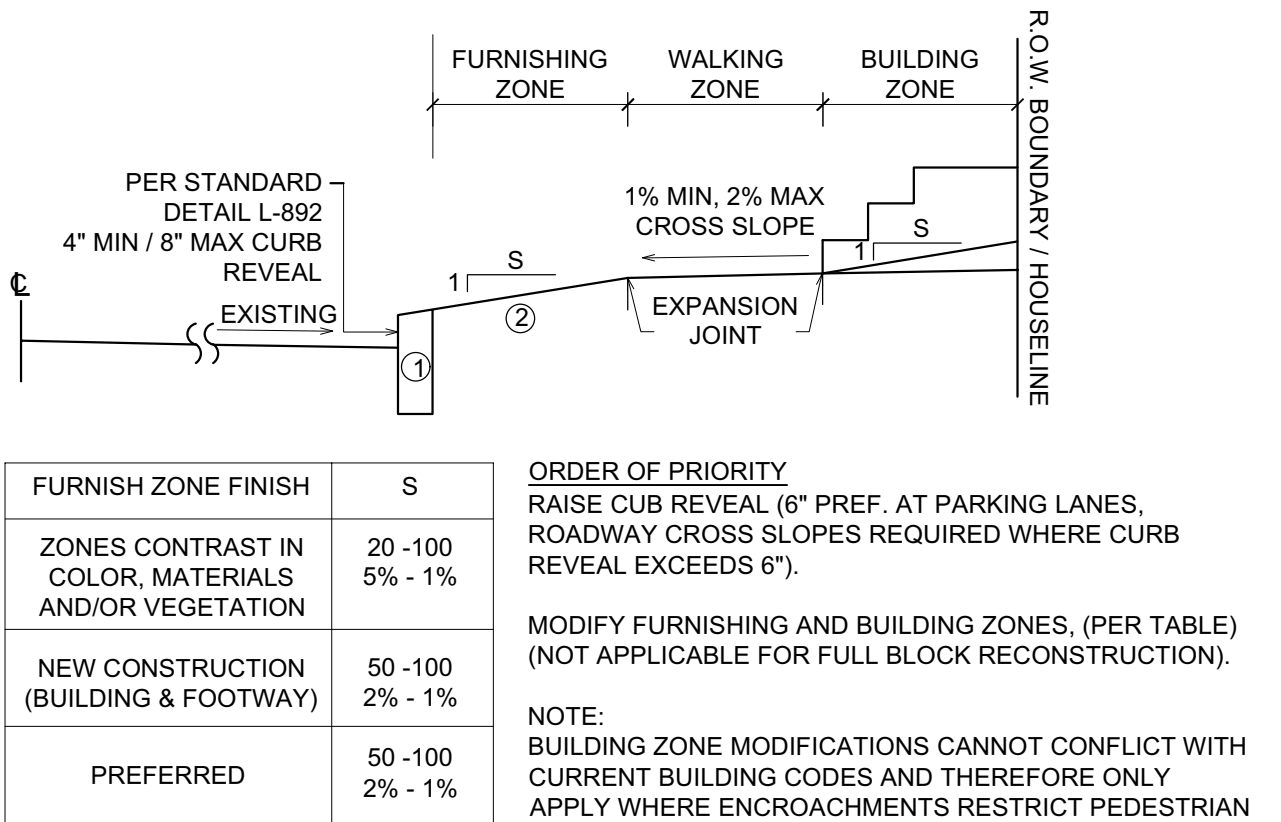
LOCATION MAP



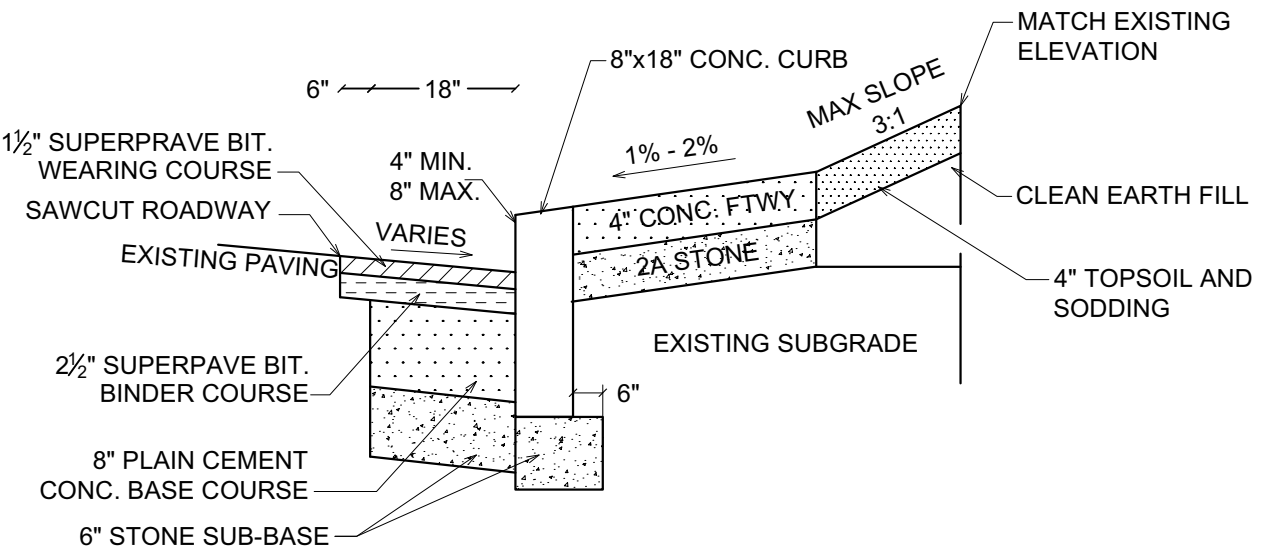
STAMP AREA



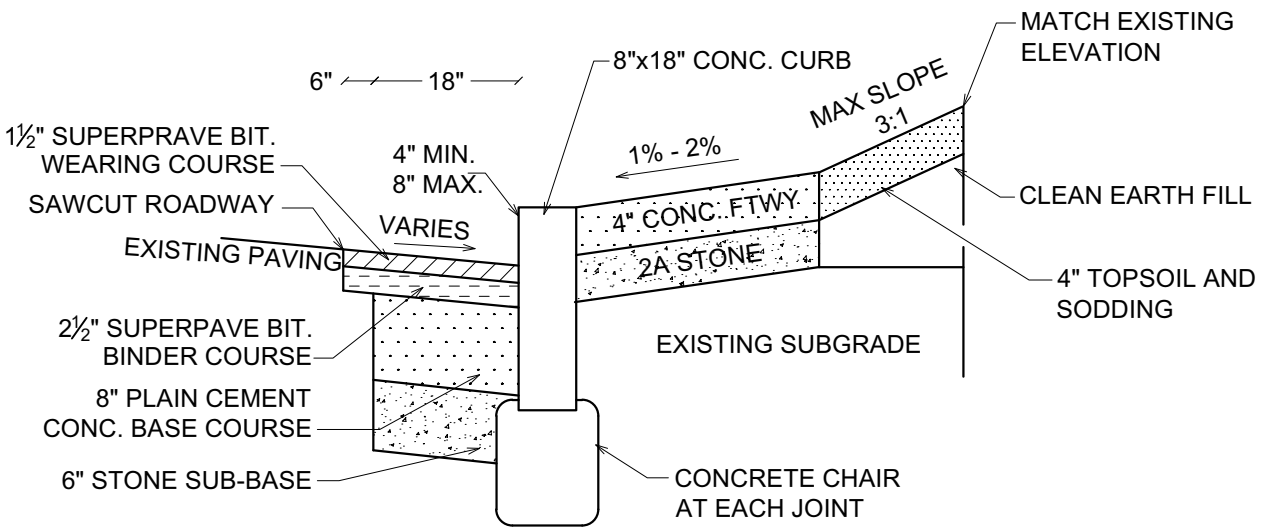
1 SITE PHOTO
Z1 SCALE: N.T.S.



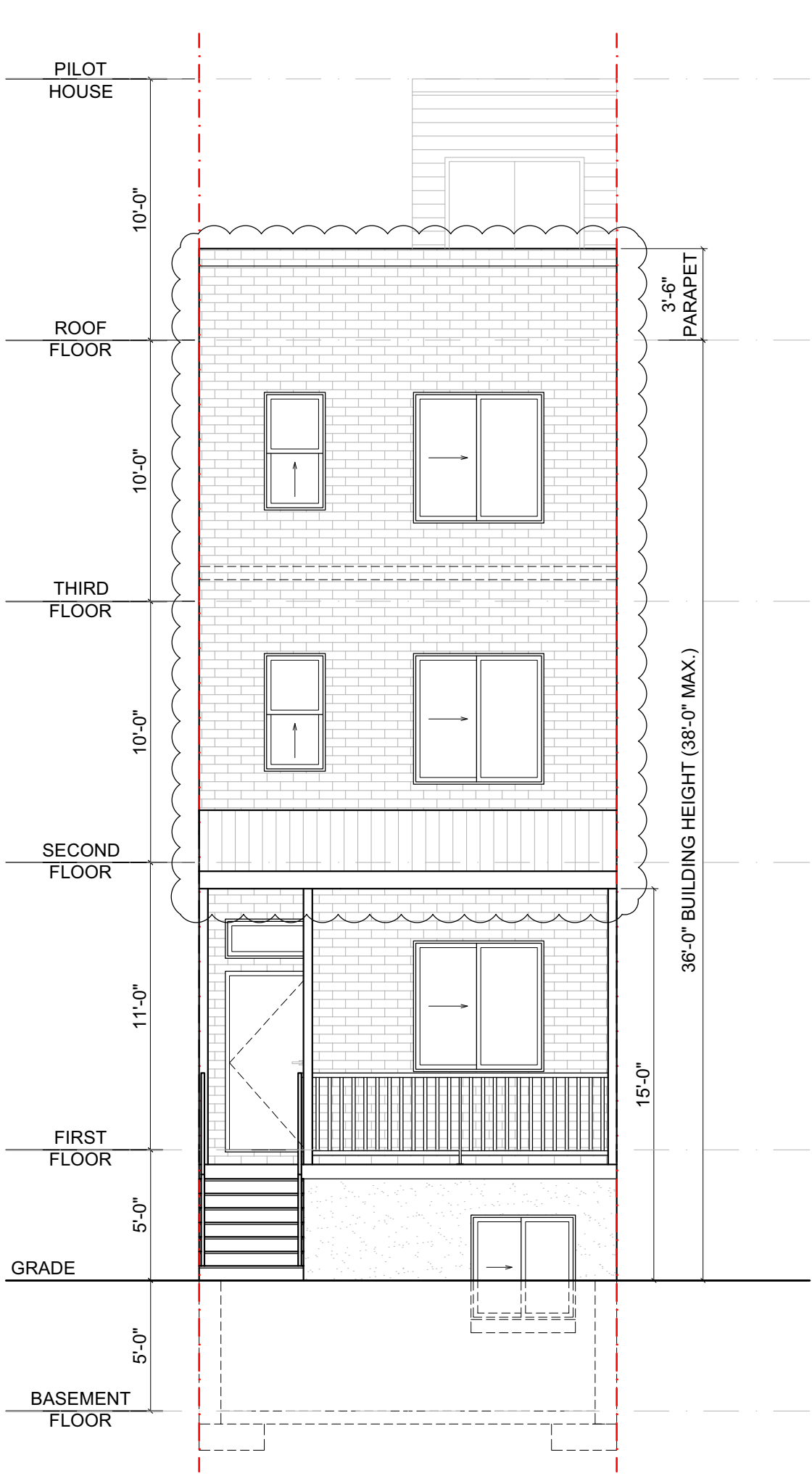
2 ROAD HALF SECTION SIDEWALK GRADING
Z1 SCALE: 1/2"=1'-0"



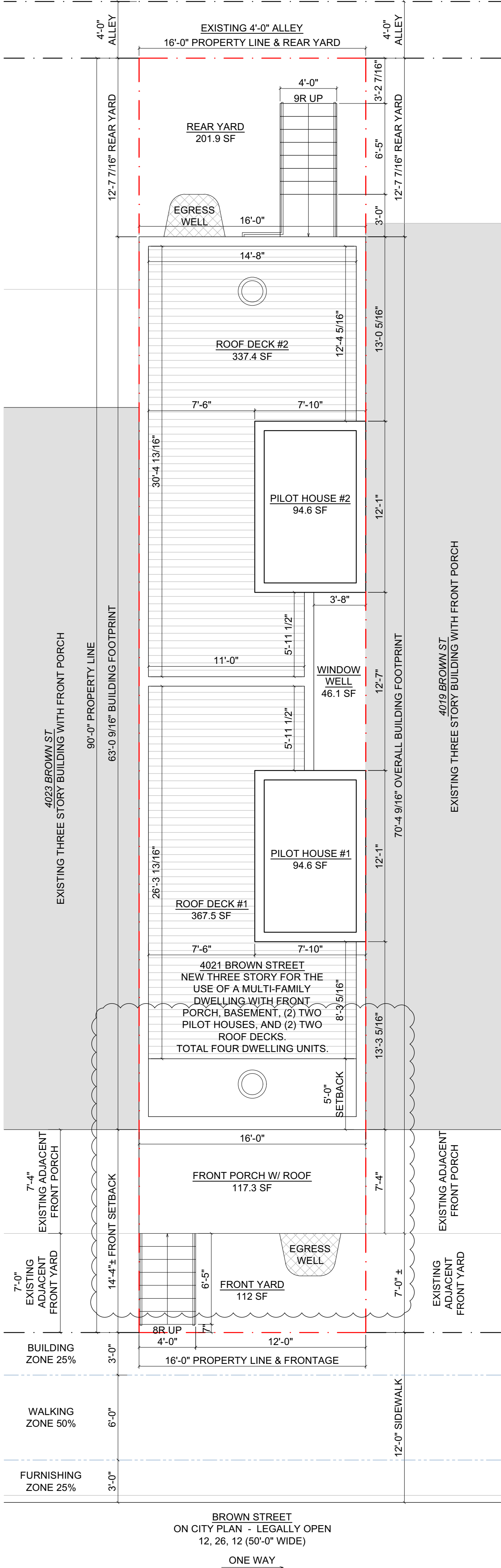
3 TYPICAL CONCRETE CURB
Z1 SCALE: 1/2"=1'-0"



4 TYPICAL GRANITE CURB
Z1 SCALE: 1/2"=1'-0"



5 FRONT ELEVATION
Z1 SCALE: 3/16"=1'-0"



6 PLOT PLAN
Z1 SCALE: 3/16"=1'-0"

SEAL

REVISION

DATE

08/14/2024

1ST REVISION

GENERAL NOTE

THIS DOCUMENT IS FOR GRAPHIC PURPOSES ONLY. CONSULT THE PROJECT CONTRACTORS AND OTHER TRADES SHALL BE RESPONSIBLE FOR CHECKING AND VERIFYING ALL PRESENT AND EXISTING CONDITIONS, DIMENSIONS, ETC. BEFORE PROCEEDING WITH THE WORK.

FOR PERMIT ONLY

NOT FOR CONSTRUCTION

DRAWN BY: EP

CHECKED BY: CM

PROJECT DESCRIPTION

NEW (3)THREE STORY FOUR -FAMILY DWELLING

LOCATION

4021 BROWN STREET PHILADELPHIA, PA 19104

DRAWING TITLE

ZONING

DRAWING NO.

Z1

SCALE: AS NOTED

JT RAN

EXPEDITING

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SIGNATURE